

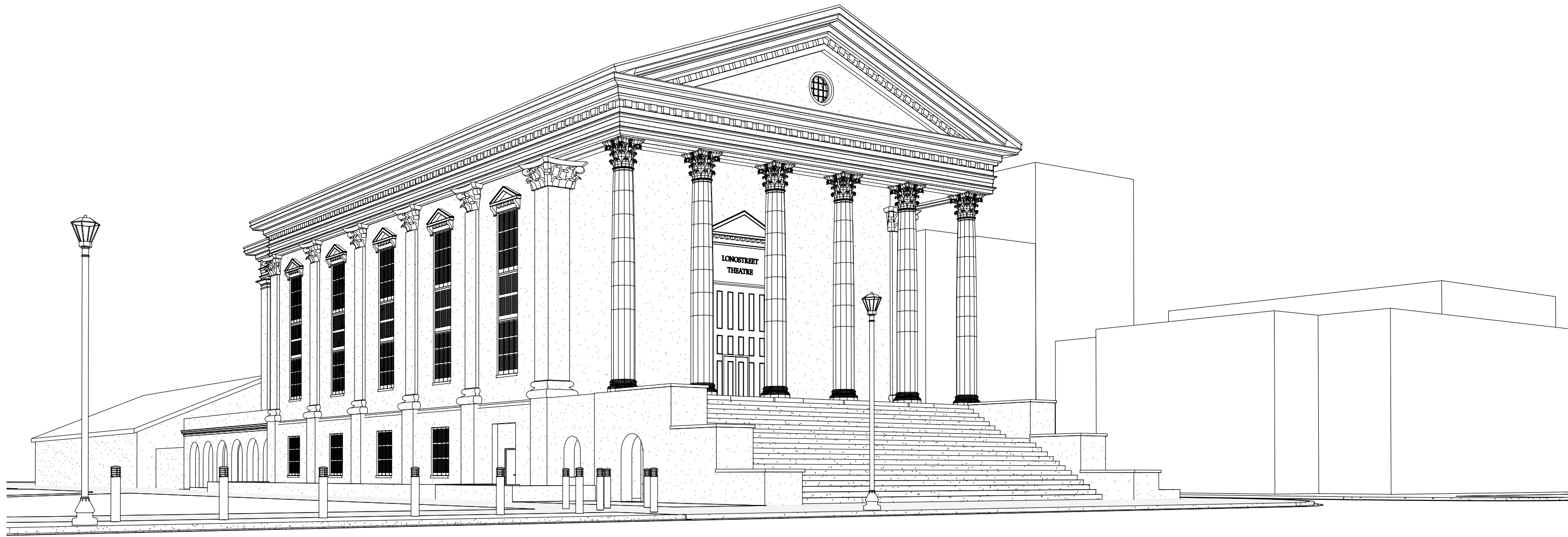
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UNIVERSITY OF SOUTH CAROLINA

USC LONGSTREET THEATER EXTERIOR REPAIRS

1300 GREENE STREET, COLUMBIA, SC

USC PROJECT # H27-6100-G



LOCATION MAP

ABBREVIATIONS

#	POUND OR NUMBER	F.O.	FACE OF
&	AND	GA.	GAUGE
A.C.T.	AT	GALV.	GALVENIZED
A.F.F.	ACOUSTICAL CEILING TILE	GYP.	GYPSUM
ALUM.	ABOVE FINISHED FLOOR	GYP. BRD.	GYPSUM WALLBOARD
ANOD.	ALUMINUM	H.	HIGH
APPROX.	ANNODIZED	H.M.	HOLLOW METAL
B.O.	APPROXIMATE	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING
C.I.P.	BOTTOM OF	INSUL.	INSULATION
C.J.	CAST IN PLACE	MAX.	MAXIMUM
CLG.	CONTROL JOINT	M.O.	MASONRY OPENING
CLR.	CEILING	MECH.	MECHANICAL
CMU	CLEAR	MIN.	MINIMUM
COL.	CONCRETE MASONRY UNIT	MTL.	METAL
CONC.	COLUMN	N.I.C.	NOT IN CONTRACT
CONT.	CONCRETE	NO.	NUMBER
CPT.	CONTINUOUS	NOM.	NOMINAL
C.T.	CARPET	O.C.	ON CENTER
DEMO	CERAMIC TILE	O.H.	OVERHEAD
DIA.	DEMOLISH	OPP. HAND	OPPOSITE HAND
DIM.	DIAMETER	PLYWD.	PLYWOOD
DIMS.	DIMENSION	P.T.	PRESSURE TREATED
DN.	DIMENSIONS	PVC	POLYVINYL CHLORIDE
DR.	DOWN	R.C.P.	REFLECTED CEILING PLAN
DWG.	DOOR	R.D.	ROOF DRAIN
EA.	DRAWING	REQD.	REQUIRED
ELEC.	EACH	RM.	ROOM
ELEV.	ELECTRICAL	SIM.	SIMILAR
EPDM	ELEVATION OR ELEVATOR	SS	STAINLESS STEEL
EQ.	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	STL.	STEEL
EXIST.	EQUAL	STRUCT.	STRUCTURAL
EXP. JT.	EXISTING	T&G	TONGUE AND GROOVE
EXT.	EXPANSION JOINT	TELE.	TELEPHONE
E.W.C.	EXTERIOR	TLT.	TOILET
F.D.	ELECTRIC WATER COOLER	T.O.	TOP OF
F.E.	FLOOR DRAIN	T.O.S.	TOP OF STEEL
F.E.C.	FIRE EXTINGUISHER	TYP.	TYPICAL
FLR.	FIRE EXTINGUISHER CABINET	U.O.N.	UNLESS OTHERWISE NOTED
	FLOOR	V.I.F.	VERIFY IN FIELD
		W/	WITH
		WD.	WOOD

DRAWING CONVENTIONS

IDENTITY SYMBOLS		REFERENCE SYMBOLS		LINE SYMBOLS	
	VIEW INDICATOR		BUILDING SECTION		CENTER LINE
	NORTH ARROW		WALL SECTION		DEMOLISHED
	ELEVATION INDICATOR		ELEVATION		HIDDEN
	REVISION CLOUD		INTERIOR ELEVATION		OVERHEAD
	COLUMN GRID		EXTERIOR ELEVATION		PROPERTY LINE
	BLOWUP DETAIL				1 HOUR RATING
			DIMENSION CONVENTIONS		2 HOUR RATING
			SLOPE CONVENTION		3 HOUR RATING
					4 HOUR RATING
					EXIT SEPARATION

DRAWING LIST	
SHEET NO.	Sheet Name
GENERAL	
CVR	COVER SHEET
CIVIL	
C100	EXISTING CONDITIONS AND SITE DEMO
C200	ROOF DRAIN REPLACEMENT PLAN
ARCHITECTURAL	
A101	GROUND FLOOR PLAN
A102	ROOF PLAN
A401	BUILDING ELEVATIONS
A402	BUILDING ELEVATIONS
A403	ENLARGED PARTIAL ELEVATIONS
A404	ENLARGED ELEVATIONS
A621	PEDIMENT FLASHING DETAILS
A622	COLUMN FLASHING DETAILS
A623	ROOF FLASHING DETAILS
A624	GUTTER FLASHING DETAILS
A625	GUTTER FLASHING DETAILS

STUDIO 2LR | ARCHITECTURE + INTERIORS

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COLUMBIA, SOUTH CAROLINA 29201
P 803.233.6602 F 802.233.6613
STUDIO2LR.COM

MEADORS CONSERVATION

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA

PROJECT NAME
USC LONGSTREET THEATER
EXTERIOR REPAIRS

LOCATION
1300 GREENE STREET, COLUMBIA, SC 29201

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

USC PROJECT NUMBER

H27-6100-G

PROJECT NUMBER

14090

SHEET NUMBER

CVR

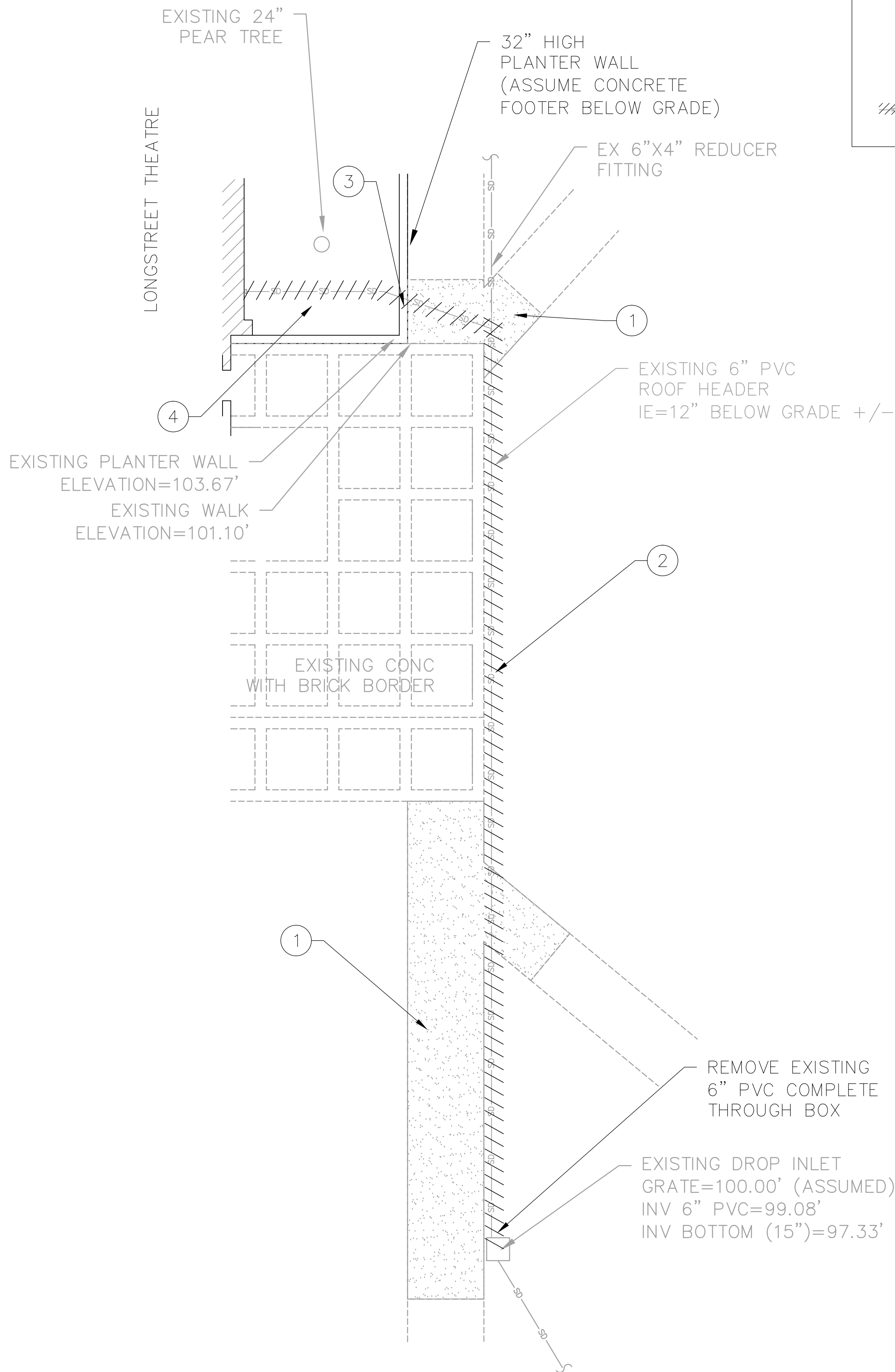
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COVER SHEET

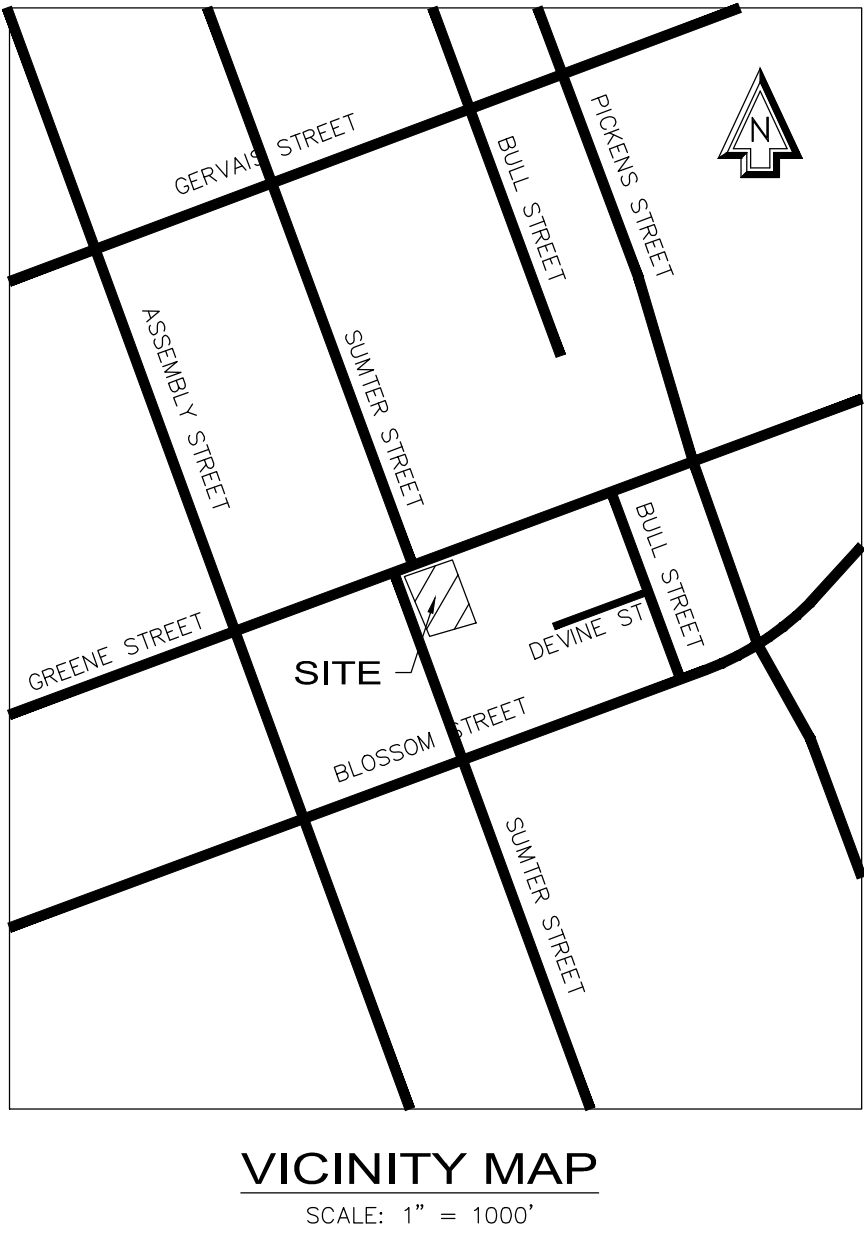
DATE

04/22/2015

BID DOCUMENTS - APRIL 22, 2015



LEGEND		
DEMOLITION	EXISTING	DESCRIPTION
N/A		BENCHMARK/CONTROL POINT
N/A		PROPERTY LINE/RIGHT OF WAY
N/A		BUILDING
N/A		LIGHT POLE
N/A		TREE
		BITUMINOUS SURFACE
N/A		CONCRETE SURFACE
N/A		CONTOUR
N/A		SPOT ELEVATION
N/A		CHAIN LINK FENCE
N/A		WATER VALVE
N/A		WATER METER
N/A		UNDERGROUND ELECTRIC LINE w/LIGHT POLE
N/A		SANITARY SEWER LINE w/MANHOLE
N/A		SANITARY SEWER CLEANOUT
		STORM DRAIN LINE w/STRUCTURE
	N/A	KEY NOTE REFERENCE



GENERAL NOTES

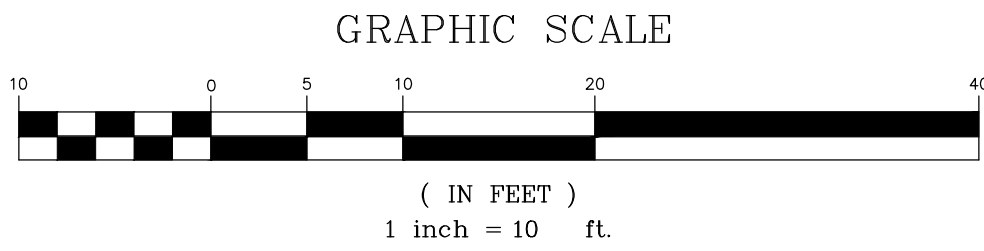
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- PROPERTY INFORMATION
TMS# R11303-04-01
OWNER: UNIVERSITY OF SOUTH CAROLINA
DEVELOPMENT ADDRESS: 1211 GREENE STREET
CONTACT: CHRISTIAN MERGNER
PHONE NO.: 803-587-0893
EMAIL: CMERGNER@MC.SC.EDU
ZONING: C-1 OFFICE AND INSTITUTIONAL
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C 0094H, DATED FEBRUARY 20, 2002, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY PUPS AT 811 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

KEY NOTES

- REMOVE EXISTING CONCRETE SIDEWALK COMPLETE - SAWCUT AT NEAREST JOINT
- REMOVE EXISTING ROOF DRAIN PIPING COMPLETE
- SAWCUT FOOTING AS NEEDED FOR NEW ROOF DRAIN INSTALLATION. DO NOT SAWCUT VERTICAL PLANTER WALL.
- REMOVE PLANTER MATERIAL AS NEEDED FOR ROOF DRAIN INSTALLATION AND RESTORE WHEN COMPLETE

DEMOLITION NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS TO BE DEMOLISHED AND REMOVED FROM THE SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING AND WALKING THE SITE. ALL ITEMS REQUIRING DEMOLITION/ REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO COMMENCEMENT OF TREE REMOVAL THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER AND/OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND/OR VEGETATION TO REMAIN. PROTECTION OF IDENTIFIED TREES AND/OR VEGETATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THERE SHALL BE NO BURNING ON SITE.
- EXISTING IMPROVEMENTS SO NOTED, ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL) AS NECESSARY TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON THESE PLANS AND AS REQUIRED TO FACILITATE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SERVICES WHICH ARE INDICATED TO BE EXTENDED OR OTHERWISE REUSED.
- ALL EXISTING CONCRETE AND/OR ASPHALT PAVEMENT THAT IS INDICATED ON THESE PLANS TO BE REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR ACCORDING TO APPLICABLE CODES.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE IN PLACE PRIOR TO DEMOLITION.
- IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
- DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPLICABLE DEMO AND DISPOSAL PERMITS.
- CONTRACTOR SHALL GRADE DISTURBED AREAS TO DRAIN



No.	REVISION	DATE

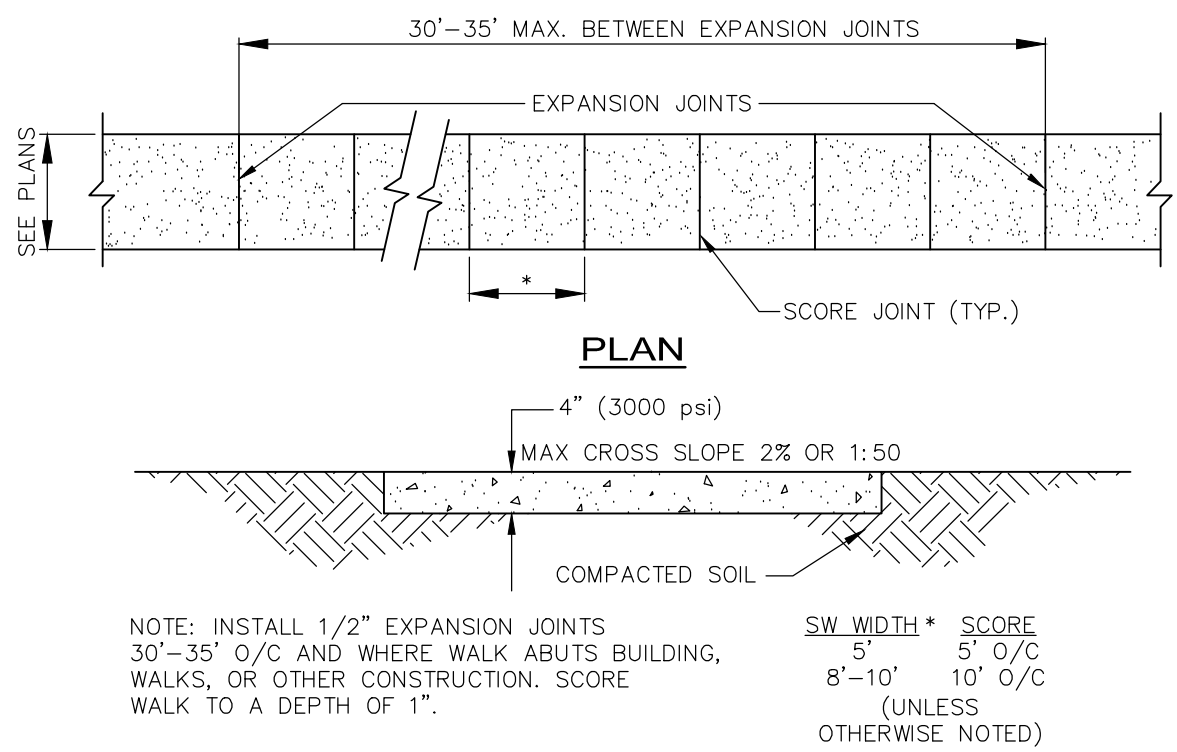
BID DOCUMENTS - APRIL 22, 2015

		PROJECT TITLE USC LONGSTREET THEATRE SUMMER WORK 2015	
DRAWN BY CWC		DRAWING TITLE EXISTING CONDITIONS AND SITE DEMO	
CHECKED BY CWC		FILE: 15-415	
DATE 22 APRIL 2015		DRAWING NO. C-100	

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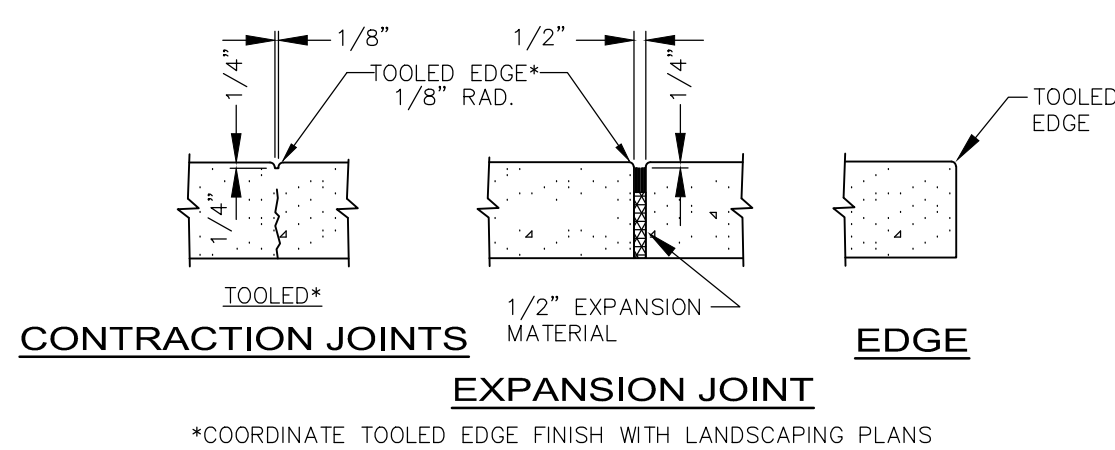
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S:\PROJECTS\15415 USC LONGSTREET THEATRE ROOF DRAIN\DRAWINGS\CIVIL\USC LONGSTREET_RECOVER.DWG - 4/21/2015



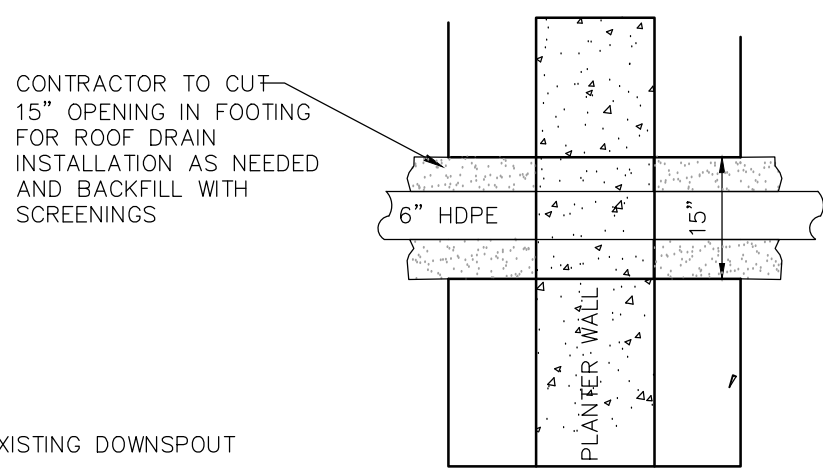
CONCRETE SIDEWALK

SCALE: 1" = 1'-0"

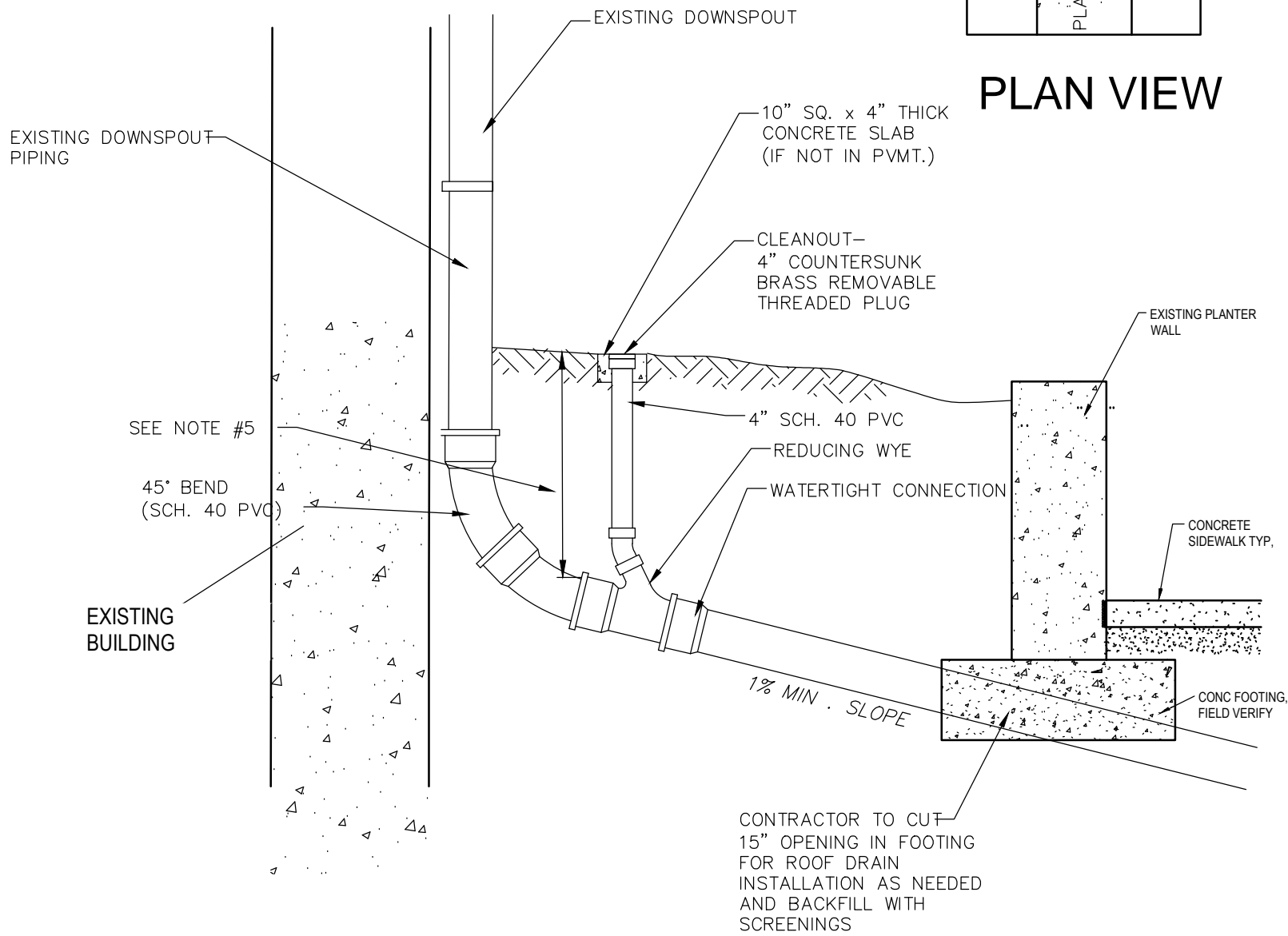


CONCRETE SIDEWALK JOINTS

NOT TO SCALE



PLAN VIEW



ROOF DRAIN SECTION AT PLANTER WALL

N.T.S.

DOWNSPOUT COLLECTOR NOTES:

- THE ROOF DRAIN COLLECTOR SYSTEM IS SMOOTH-LINED, CORRUGATED POLYETHYLENE PIPE LAID AT MINIMUM SLOPES AS INDICATED.
- PIPES CONNECTING TO INDIVIDUAL DOWNSPOUTS ARE 6". PROVIDE MINIMUM 6" PIPE SIZE 5' OUTSIDE BUILDING. ALL OTHER DRAIN PIPES ARE SIZED AS INDICATED INCREASING IN SIZE FROM UPSTREAM TO DOWNSTREAM.
- PROVIDE CLEANOUTS AS INDICATED, AS REQUIRED BY LOCAL BUILDING CODE.
- MINIMUM DEPTH OF COVER IS ONE (1) FOOT. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
- MAINTAIN A WATERTIGHT CONNECTION AT ALL PIPE CONNECTIONS BELOW GRADE.

EXISTING 24" PEAR TREE

LONGSTREET THEATRE

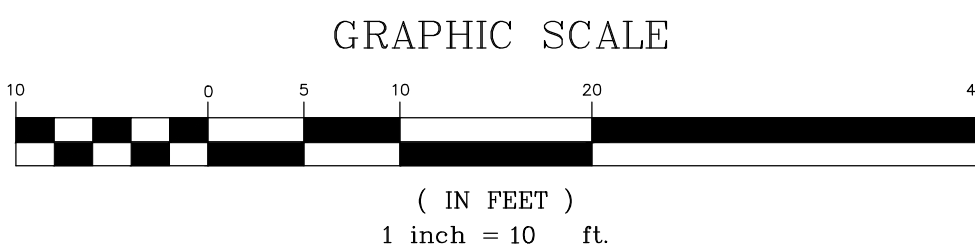
NEW 6" ROOF LEADER FROM DOWNSPOUT W/ CLEANOUT IE=99.25'

EXISTING PLANTER WALL ELEVATION=103.67'

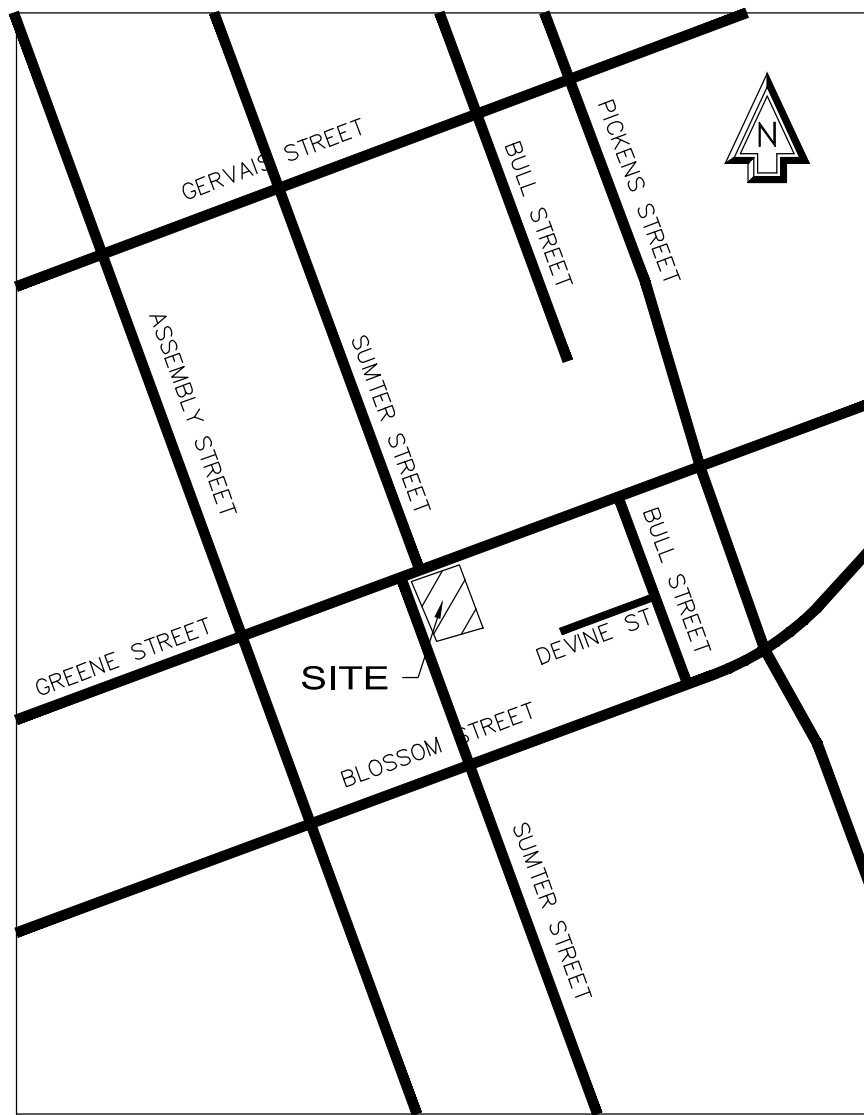
EXISTING WALK ELEVATION=101.10'

EXISTING CONC WITH BRICK BORDER

REPLACE CONCRETE SIDEWALK TO EXISTING JOINT



LEGEND		
NEW	EXISTING	DESCRIPTION
N/A	N/A	BENCHMARK/CONTROL POINT
N/A	N/A	BUILDING
N/A	N/A	LIGHT POLE
N/A	N/A	CURB AND GUTTER
		CONCRETE SIDEWALK
		KEY NOTE REFERENCE
		STORM DRAIN LINE w/STRUCTURE
		GRADE CLEANOUT



VICINITY MAP
SCALE: 1" = 1000'

GENERAL NOTES

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DEVELOPMENT ADDRESS: 1211 GREENE STREET
CONTACT: CHRISTIAN MERGNER
PHONE NO.: 803-587-0893
EMAIL: CMERGNER@FMC.SC.EDU
ZONING: C-1 OFFICE AND INSTITUTIONAL
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C 0094H, DATED FEBRUARY 20, 2002, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
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- THE CONTRACTOR SHALL NOTIFY PUPS AT 811 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

GRADING AND UTILITY NOTES:

- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL VERIFY LOCATION AND AVAILABILITY OF ALL UTILITIES AFFECTING THE PROJECT ON AND OFF THE SITE.
- ALL TRENCHES TO BE COMPACTED TO MIN. 95% STANDARD PROCTOR IN MIN 6" LIFTS
- CONTRACTOR TO REPAIR ANY DAMAGE DONE TO EXISTING PAVEMENT, FENCING, ETC. DUE TO CONSTRUCTION ENTIRELY AT HIS EXPENSE.
- CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. CONTRACTOR TO DAILY REMOVE MUD/SOIL FROM PAVEMENT AS REQUIRED.
- ALL DEMOLISHED ITEMS TO BE REMOVED FROM SITE AND DISPOSED OF IN LEGAL MANNER.
- ROOF DRAIN PIPING TO ADS N-12 DUAL WALL PIPE OR APPROVED EQUAL.
- CONTRACTOR TO NOT LEAVE OPEN TRENCH UNATTENDED AT ANY TIME. COORDINATE WORK WITH USC PROJECT SCHEDULE.

INJECTION MOLDED 45° REDUCING WYE 6" x 4" - 8" x 4" - 8" x 6" - 10" x 8" - 12" x 6" - 12" x 8" DIAMETER					
PART #	PIPE SIZE	A	B	C	JOINT
0680ST	6" x 4 in (150 x 100 mm)	9.9 in (235 mm)	8.3 in (210 mm)	4.8 in (123 mm)	ST
0680WT	6" x 4 in (150 x 100 mm)	9.9 in (235 mm)	8.3 in (210 mm)	4.8 in (123 mm)	WT
0680ST	8" x 4 in (200 x 100 mm)	10.7 in (271 mm)	10.0 in (254 mm)	9.2 in (233 mm)	ST
0680WT	8" x 4 in (200 x 100 mm)	10.7 in (271 mm)	10.0 in (254 mm)	9.2 in (233 mm)	WT
0881ST	8" x 6 in (200 x 150 mm)	12.6 in (320 mm)	11.3 in (286 mm)	10.8 in (275 mm)	ST
0881WT	8" x 6 in (200 x 150 mm)	12.6 in (320 mm)	11.3 in (286 mm)	10.8 in (275 mm)	WT
1082ST	10" x 8 in (250 x 200 mm)	17.9 in (454 mm)	14.3 in (362 mm)	13.9 in (354 mm)	ST
1082WT	10" x 8 in (250 x 200 mm)	17.9 in (454 mm)	14.3 in (362 mm)	13.9 in (354 mm)	WT
1281WT	12" x 6 in (300 x 150 mm)	17.1 in (435 mm)	15.8 in (400 mm)	14.5 in (369 mm)	WT
1282WT	12" x 8 in (300 x 200 mm)	22.5 in (572 mm)	18.7 in (474 mm)	18.1 in (461 mm)	WT

NOTE: FITTINGS WHOSE PART NUMBERS END WITH "WT" HAVE WATER TIGHT BELL CONNECTIONS. WATER TIGHT BELLS ARE SHOWN HERE IN THIS DRAWING AND REQUIRE GASKETS TO BE FITTED TO DUAL WALL PIPE TO FORM A WATER TIGHT JOINT. (GASKETS INCLUDED)

FITTINGS WHOSE PART NUMBERS END WITH "ST" HAVE SOL TIGHT BELL CONNECTIONS. SOL TIGHT BELLS HAVE MOLDED GASKETS AND REQUIRE NO GASKET TO MAKE CONNECTION TO DUAL WALL PIPE.

NOTE: ALL FITTINGS DIMENSIONS ARE FOR REFERENCE ONLY

DRAWING # 1110 04.24.07
DESIGNED BY JCB
APPROVED BY TJP 03.08.13
REVISIONS

ADS
ADVANCED DRAINAGE SYSTEMS, INC.

No.	REVISION	DATE

BID DOCUMENTS - APRIL 22, 2015

PROJECT TITLE

DRAWING TITLE

DRAWN BY CWC
CHECKED BY CWC
FILE: 15-415

PROJECT NO. H27-G100
DATE 22 APRIL 2015

USC LONGSTREET THEATRE
SUMMER WORK 2015

ROOF DRAIN
REPLACEMENT PLAN

DRAWING NO.

C-200

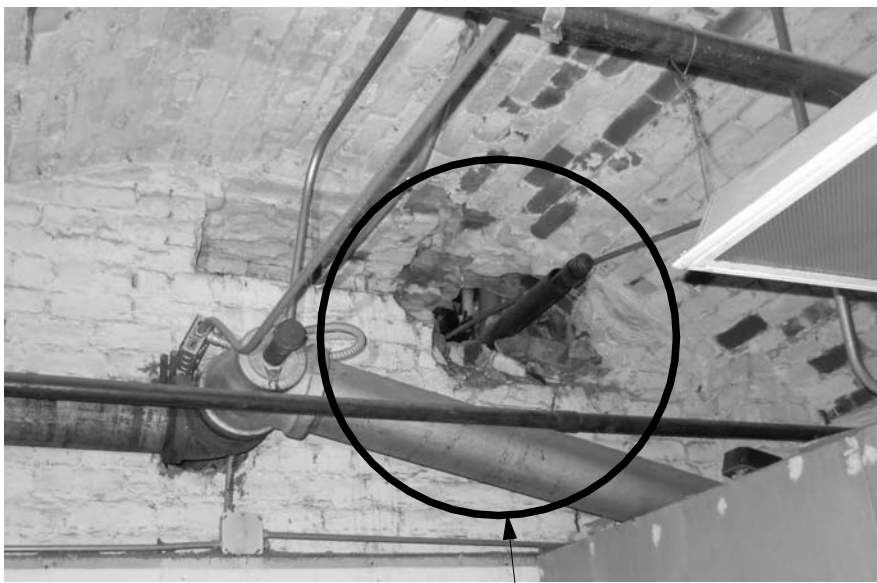
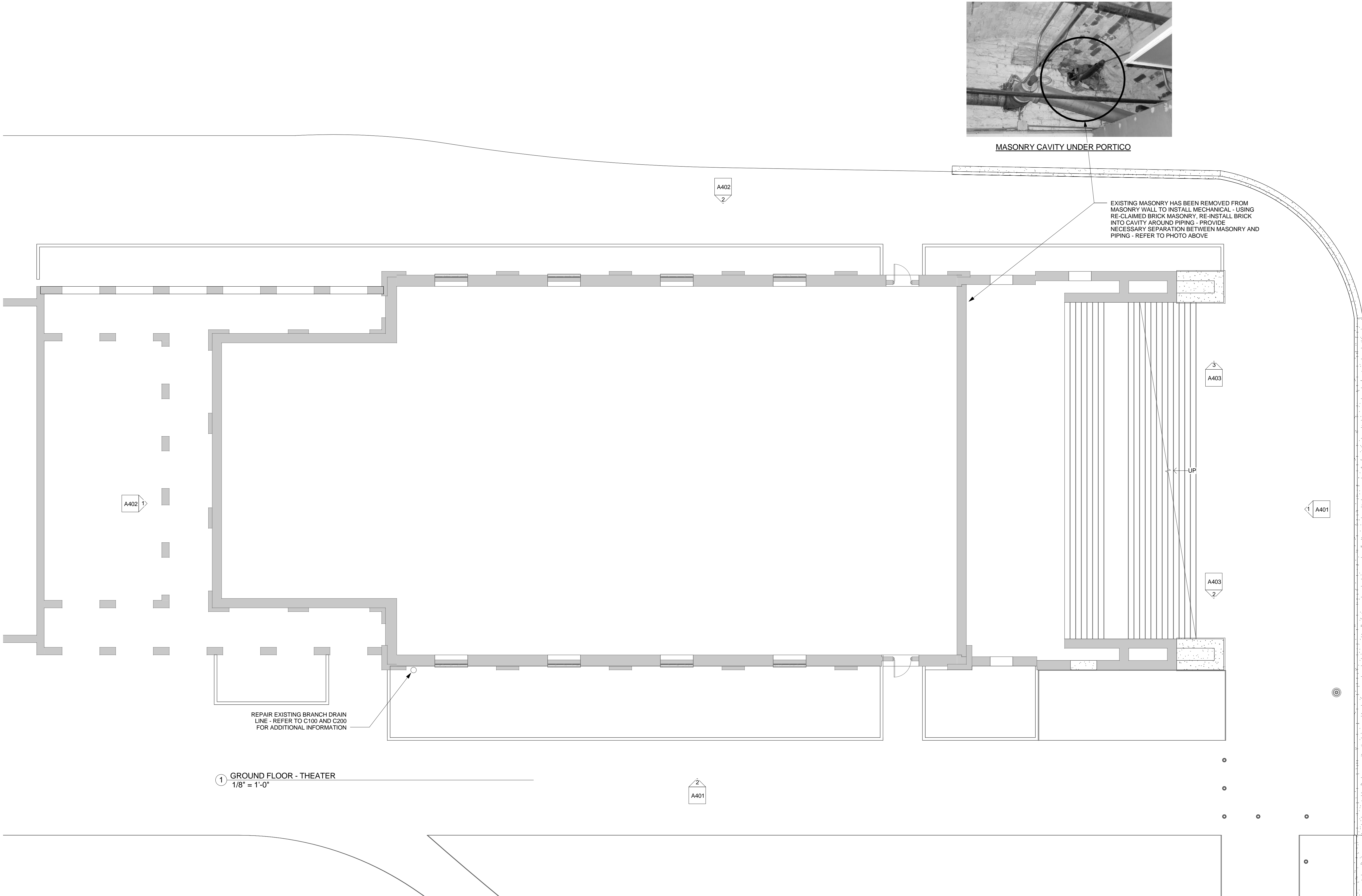
RBTODD
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7436 Broad River Road, Suite 212
Irmo, S.C. 29063
Tel. 803.781.3141
Fax. 803.781.3142
www.rbtodd.com

A/E SEAL

A/E SEAL

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MASONRY CAVITY UNDER PORTICO

EXISTING MASONRY HAS BEEN REMOVED FROM MASONRY WALL TO INSTALL MECHANICAL - USING RE-CLAIMED BRICK MASONRY, RE-INSTALL BRICK INTO CAVITY AROUND PIPING - PROVIDE NECESSARY SEPARATION BETWEEN MASONRY AND PIPING - REFER TO PHOTO ABOVE

1 GROUND FLOOR - THEATER
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

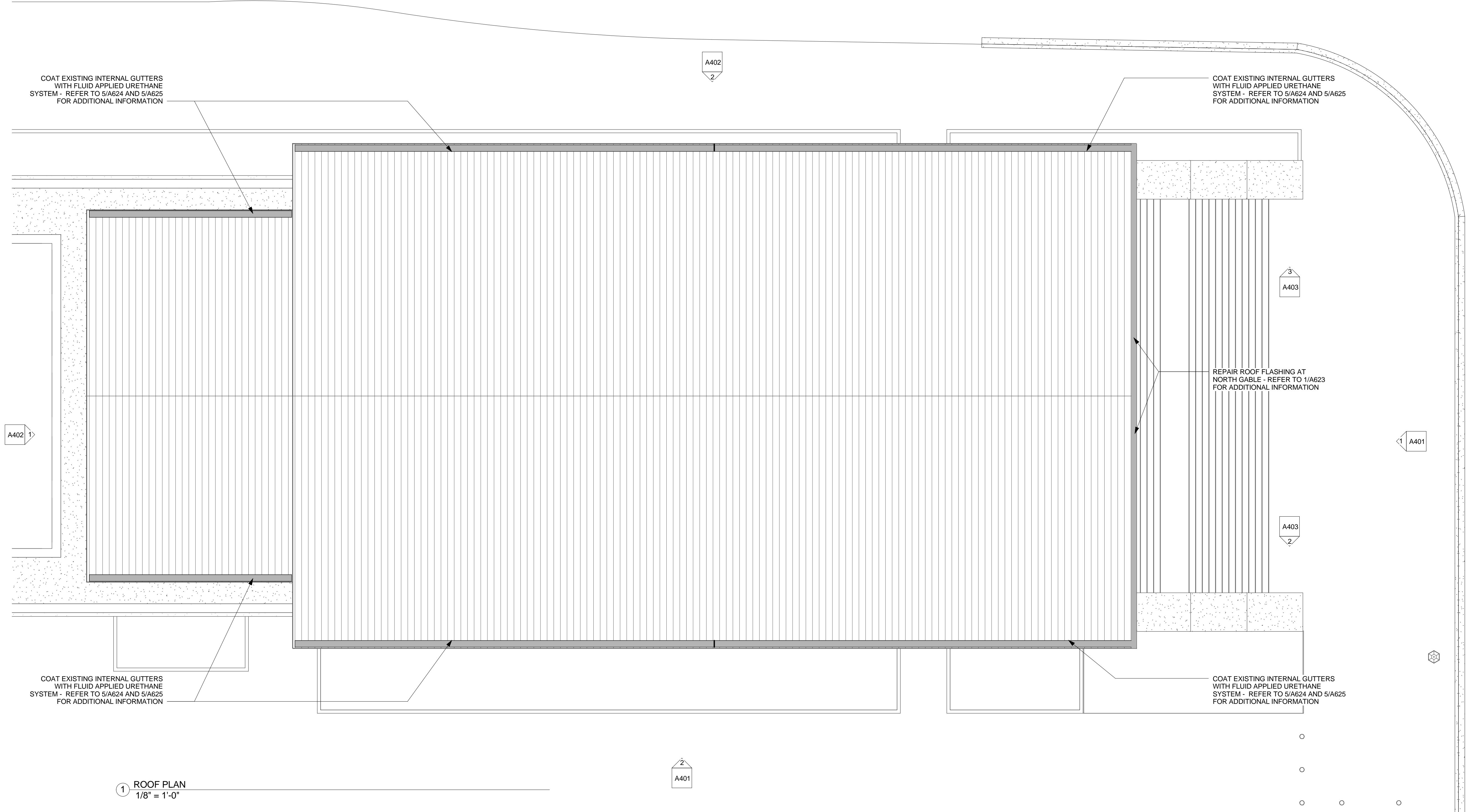
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BID DOCUMENTS - APRIL 22, 2015

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CLIENT NAME UNIVERSITY OF SOUTH CAROLINA		PROJECT NAME USC LONGSTREET THEATER EXTERIOR REPAIRS	
NO.		DATE	DESCRIPTION
REVISIONS			
PROJECT NUMBER		H27-6100-G	
SHEET NUMBER		14090	
SHEET NAME GROUND FLOOR PLAN		DATE 04/22/2015	
LOCATION 1300 GREENE STREET, COLUMBIA, SC 29201			

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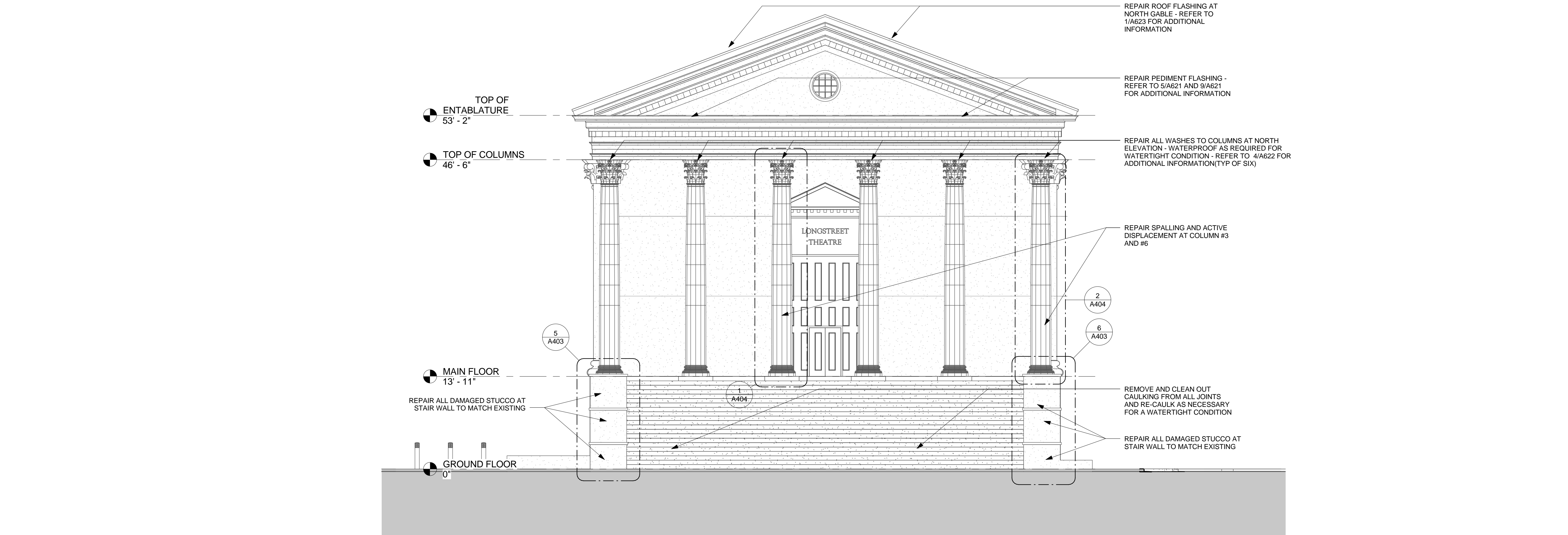
1 ROOF PLAN
1/8" = 1'-0"

BID DOCUMENTS - APRIL 22, 2015

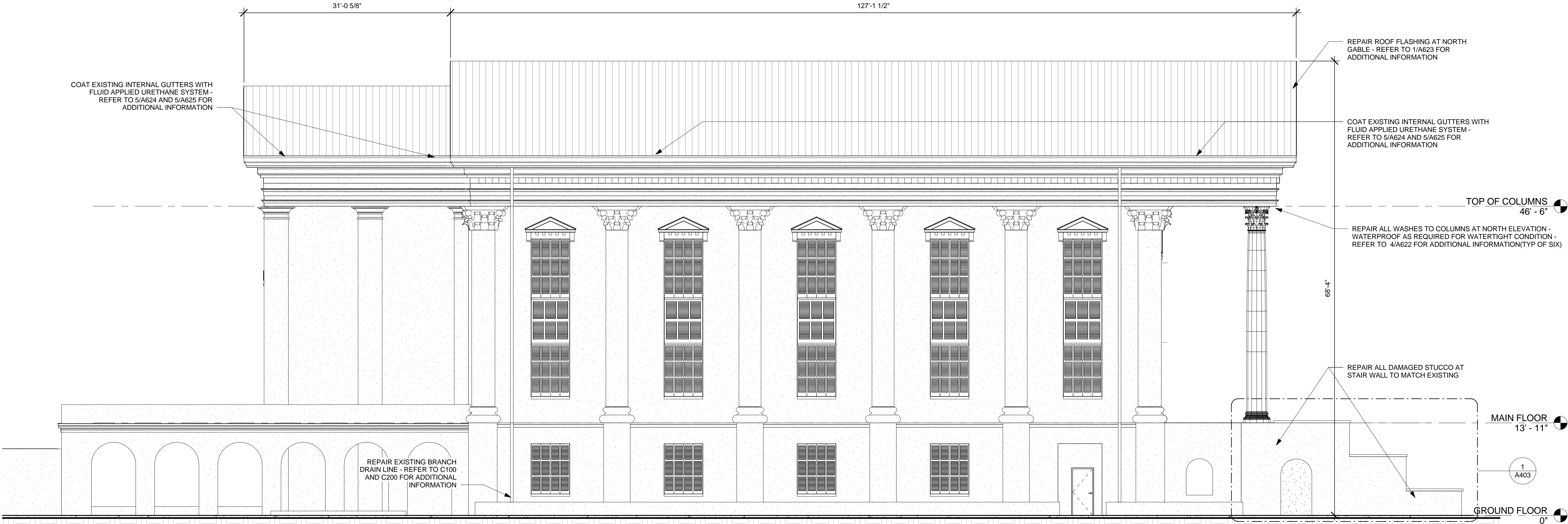
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CLIENT NAME UNIVERSITY OF SOUTH CAROLINA		PROJECT NAME USC LONGSTREET THEATER EXTERIOR REPAIRS			
LOCATION 1300 GREENE STREET, COLUMBIA, SC 29201		REVISIONS			
NO.		DATE		DESCRIPTION	
USC PROJECT NUMBER		H27-6100-G			
PROJECT NUMBER		14090			
SHEET NUMBER		A102			
SHEET NAME		ROOF PLAN			
DATE		04/22/2015			

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1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

BID DOCUMENTS - APRIL 22, 2015

STUDIO 2LR | ARCHITECTURE + INTERIORS

801 GERVAIS ST., SUITE 201
COLUMBIA, SOUTH CAROLINA 29201
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H27-6100-G

PROJECT NUMBER
14090

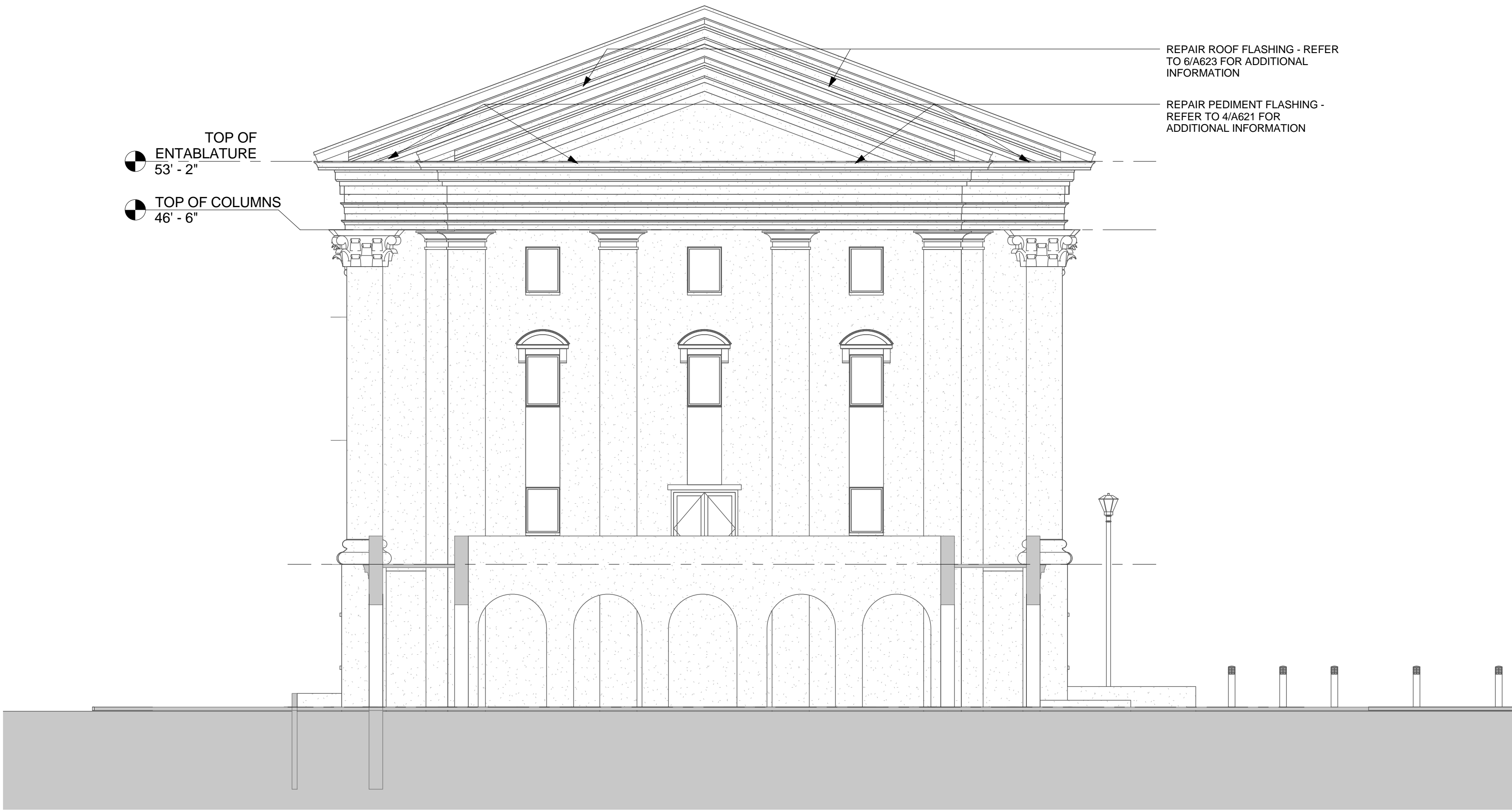
SHEET NUMBER
A401

SHEET NAME
BUILDING ELEVATIONS

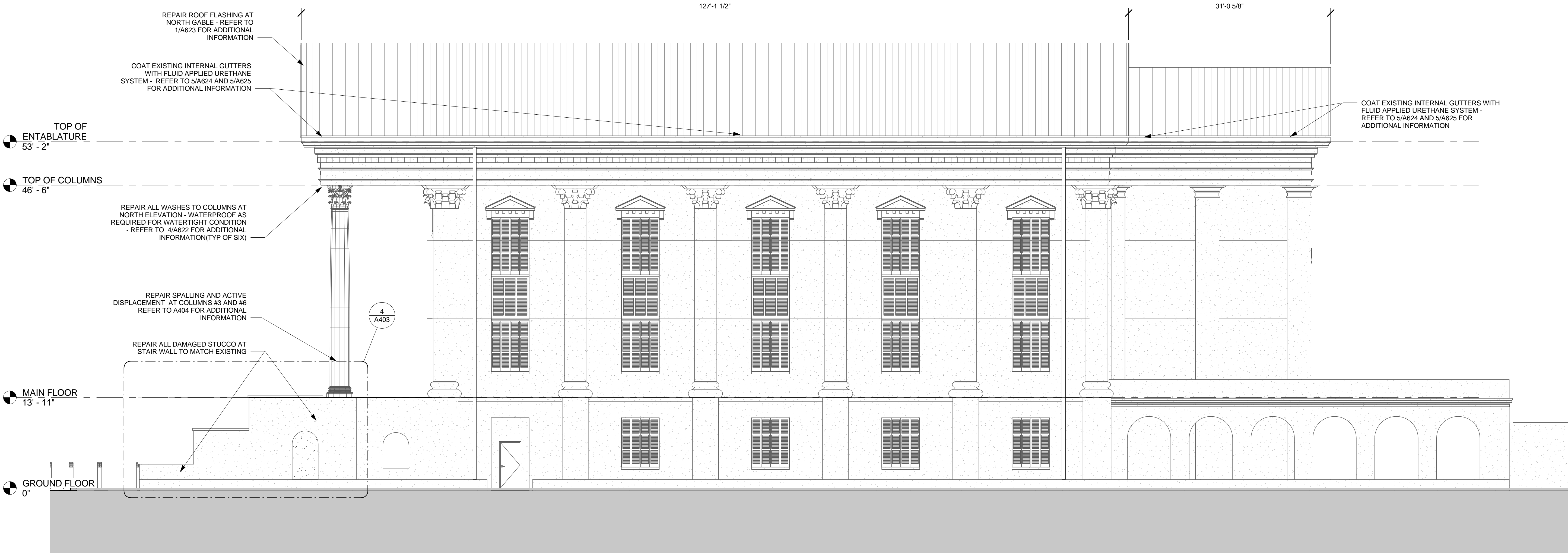
DATE
04/22/2015

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① SOUTH ELEVATION
1/8" = 1'-0"



② WEST ELEVATION
1/8" = 1'-0"

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STUDIO 2LR ARCHITECTURE + INTERIORS 801 GERVAIS ST., SUITE 201 COLUMBIA, SOUTH CAROLINA 29201 P 803.233.6602 F 802.233.6613 STUDIO2LR.COM		 MEADORS CONSERVATION	
CLIENT NAME UNIVERSITY OF SOUTH CAROLINA		PROJECT NAME USC LONGSTREET THEATER EXTERIOR REPAIRS	
LOCATION 1300 GREENE STREET, COLUMBIA, SC 29201			
REVISIONS			
NO.	DATE	DESCRIPTION	
USC PROJECT NUMBER		H27-6100-G	
PROJECT NUMBER		14090	
SHEET NUMBER		A402	
SHEET NAME		BUILDING ELEVATIONS	
DATE	04/22/2015		

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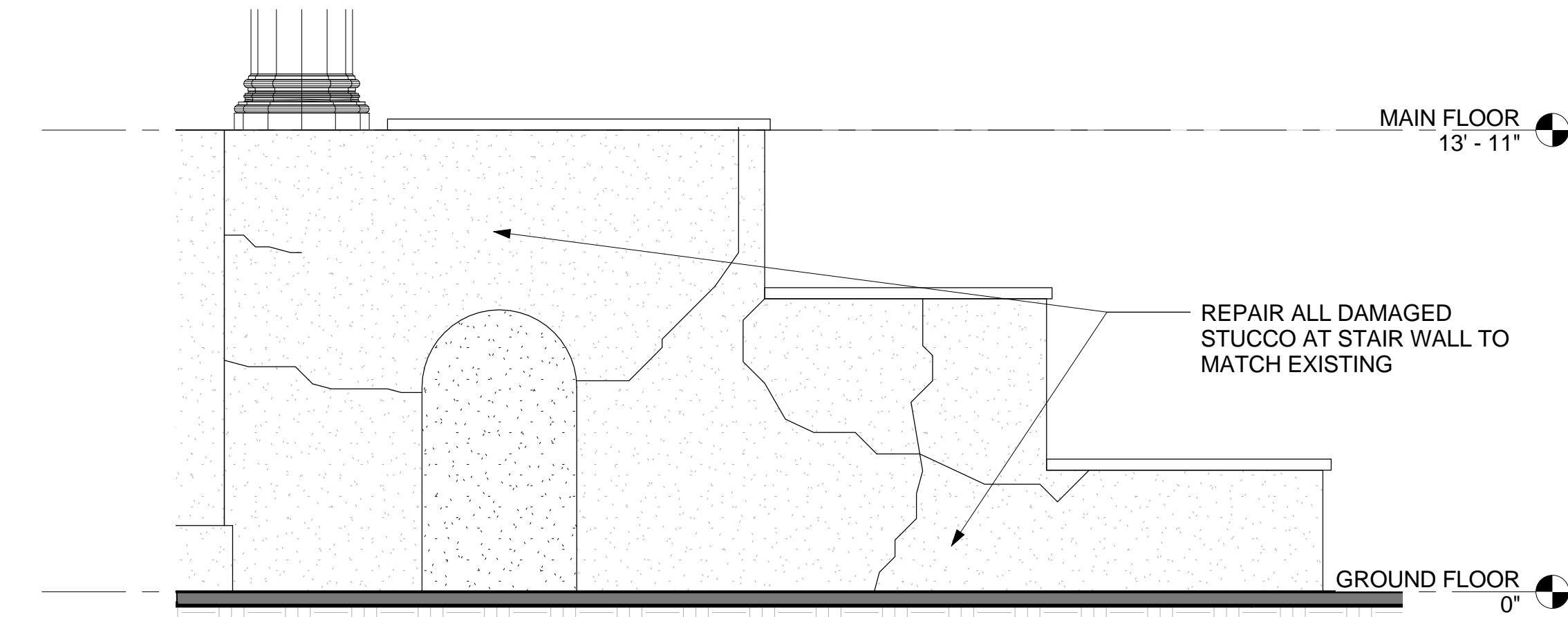
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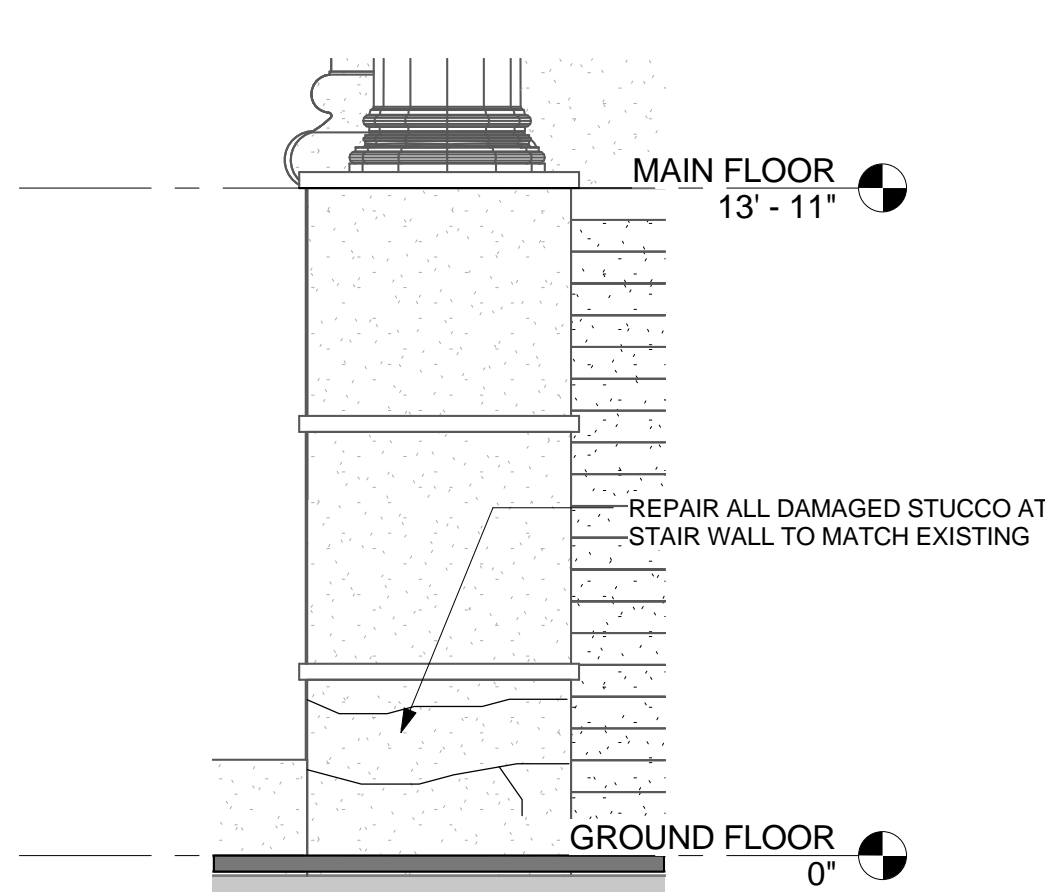
EAST WINGWALL ELEVATION PHOTO



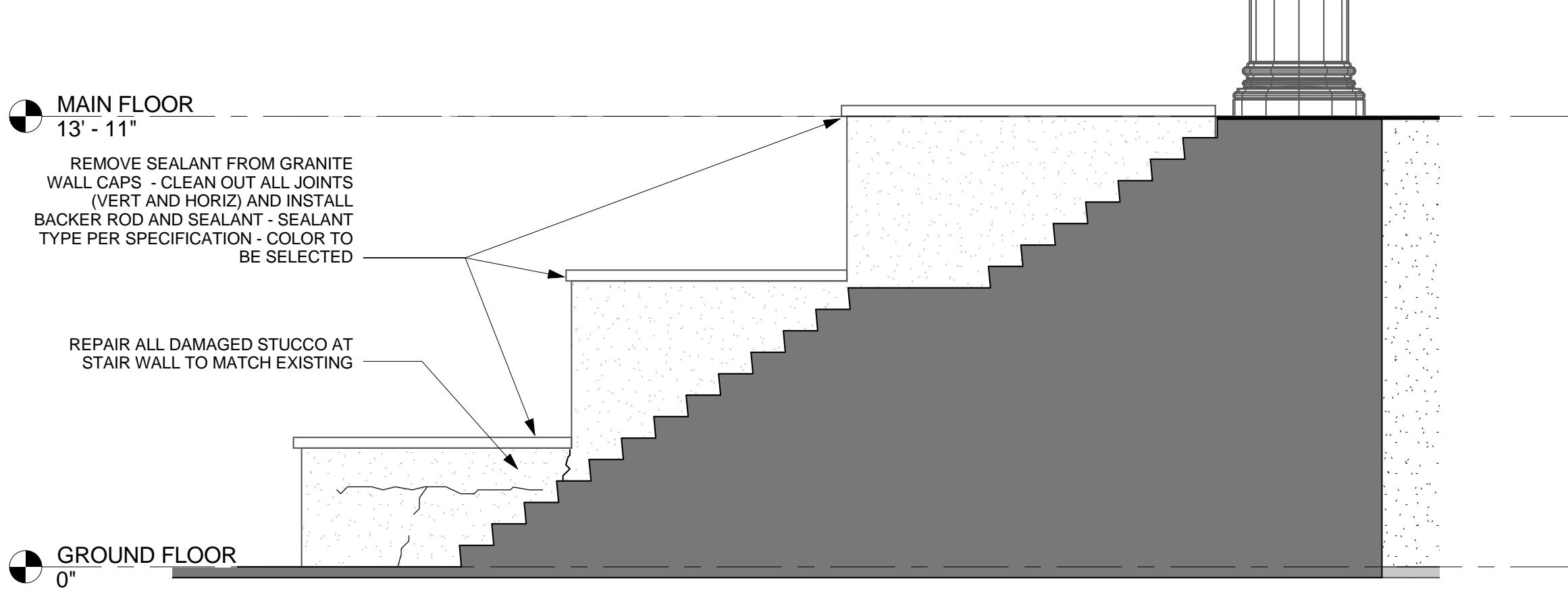
EAST STAIR WINGWALL ELEVATION PHOTO



1 EAST WINGWALL ELEVATION
1/4" = 1'-0"



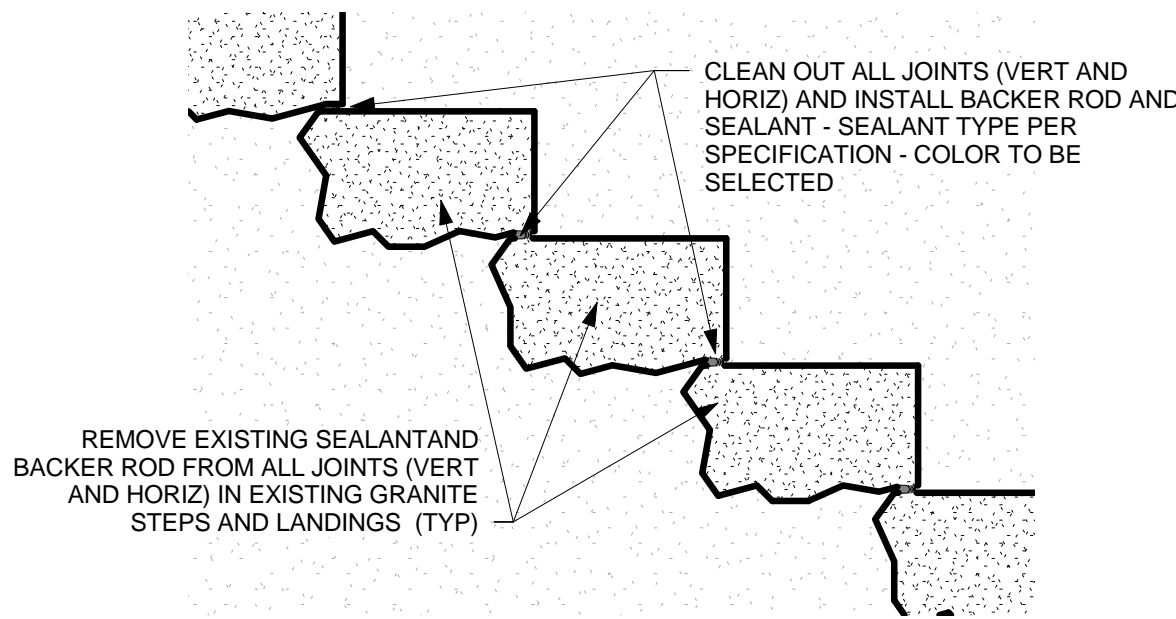
5 EAST WINGWALL END ELEV
1/4" = 1'-0"



2 EAST STAIR WINGWALL ELEVATION
1/4" = 1'-0"



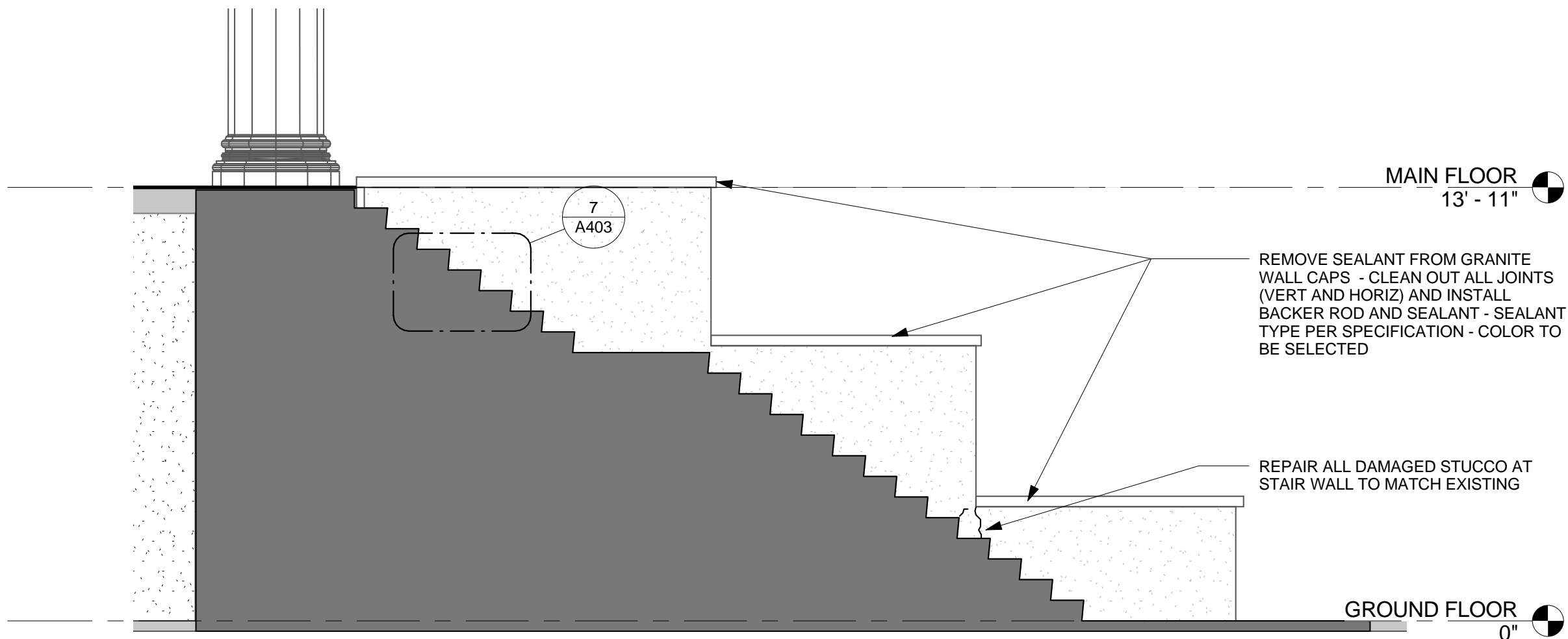
WEST STAIR WINGWALL ELEVATION PHOTO



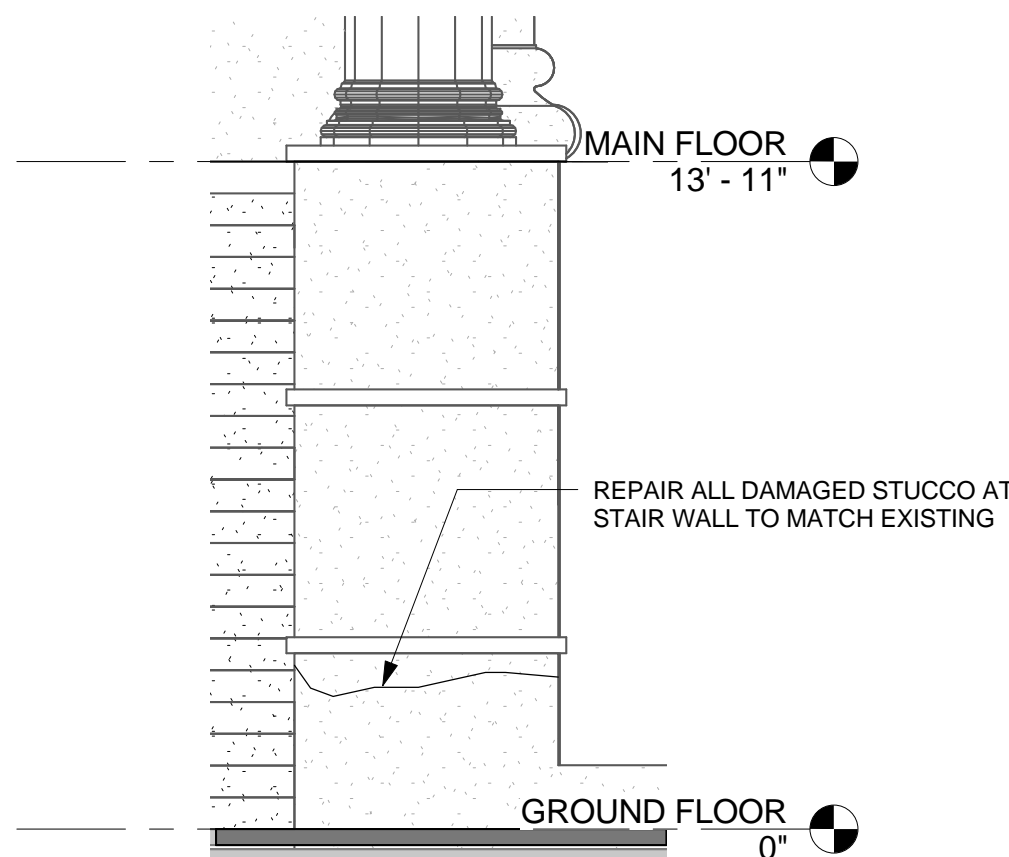
7 GRANITE STEP AND LANDING CAULKING DETAIL (TYP)
1" = 1'-0"



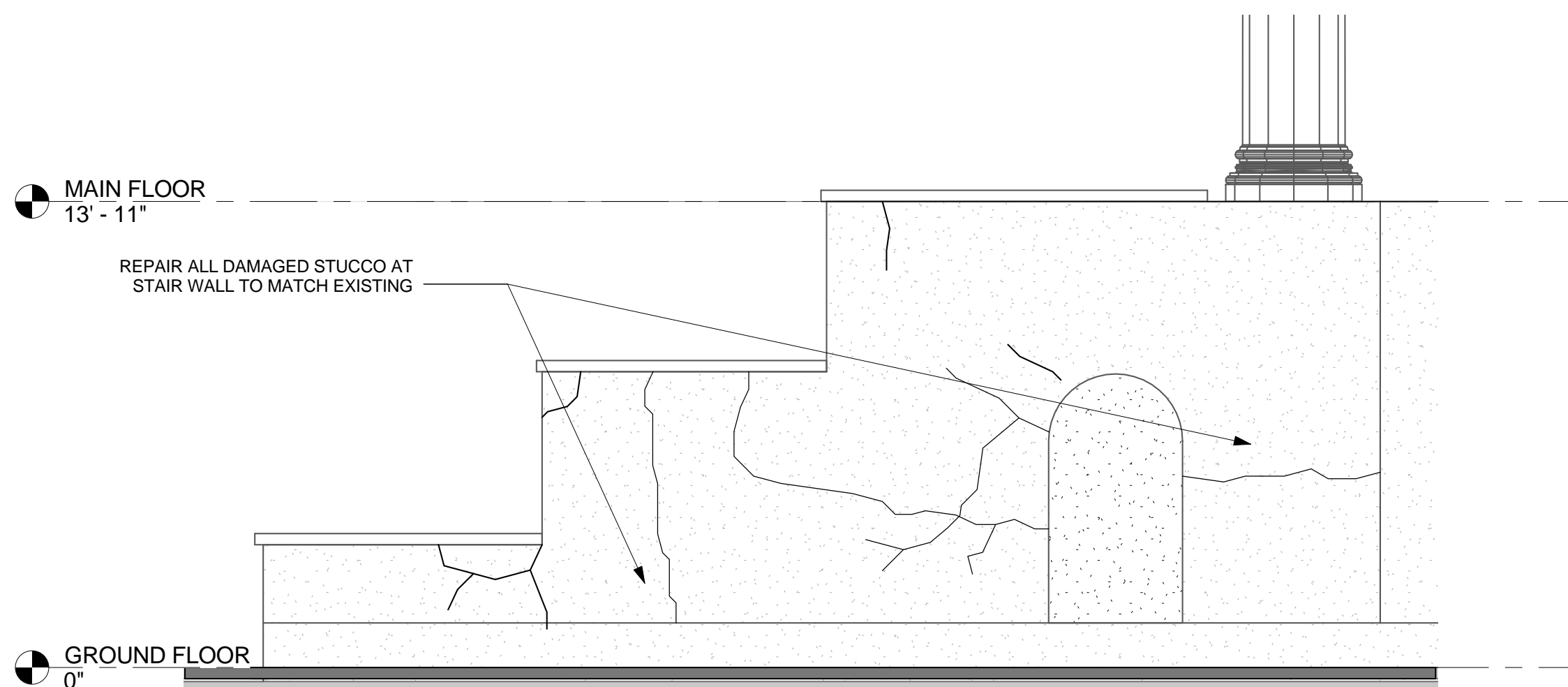
WEST WINGWALL ELEVATION PHOTO



3 WEST STAIR WINGWALL ELEVATION
1/4" = 1'-0"



6 WEST WINGWALL END ELEV
1/4" = 1'-0"



4 WEST WINGWALL ELEVATION
1/4" = 1'-0"

STUDIO 2LR

ARCHITECTURE + INTERIORS

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STUDIO2LR.COM

MEADORS CONSERVATION

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA

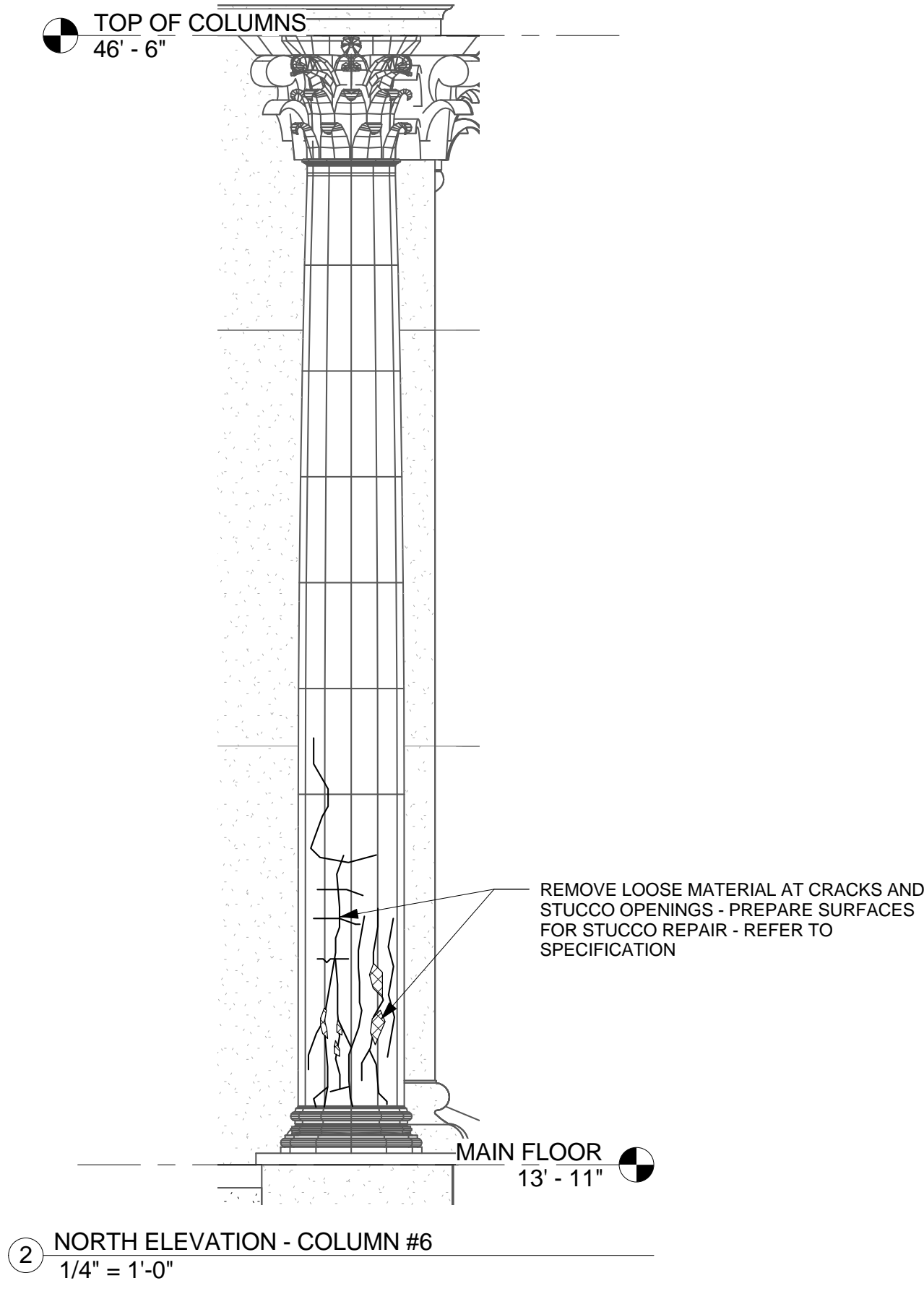
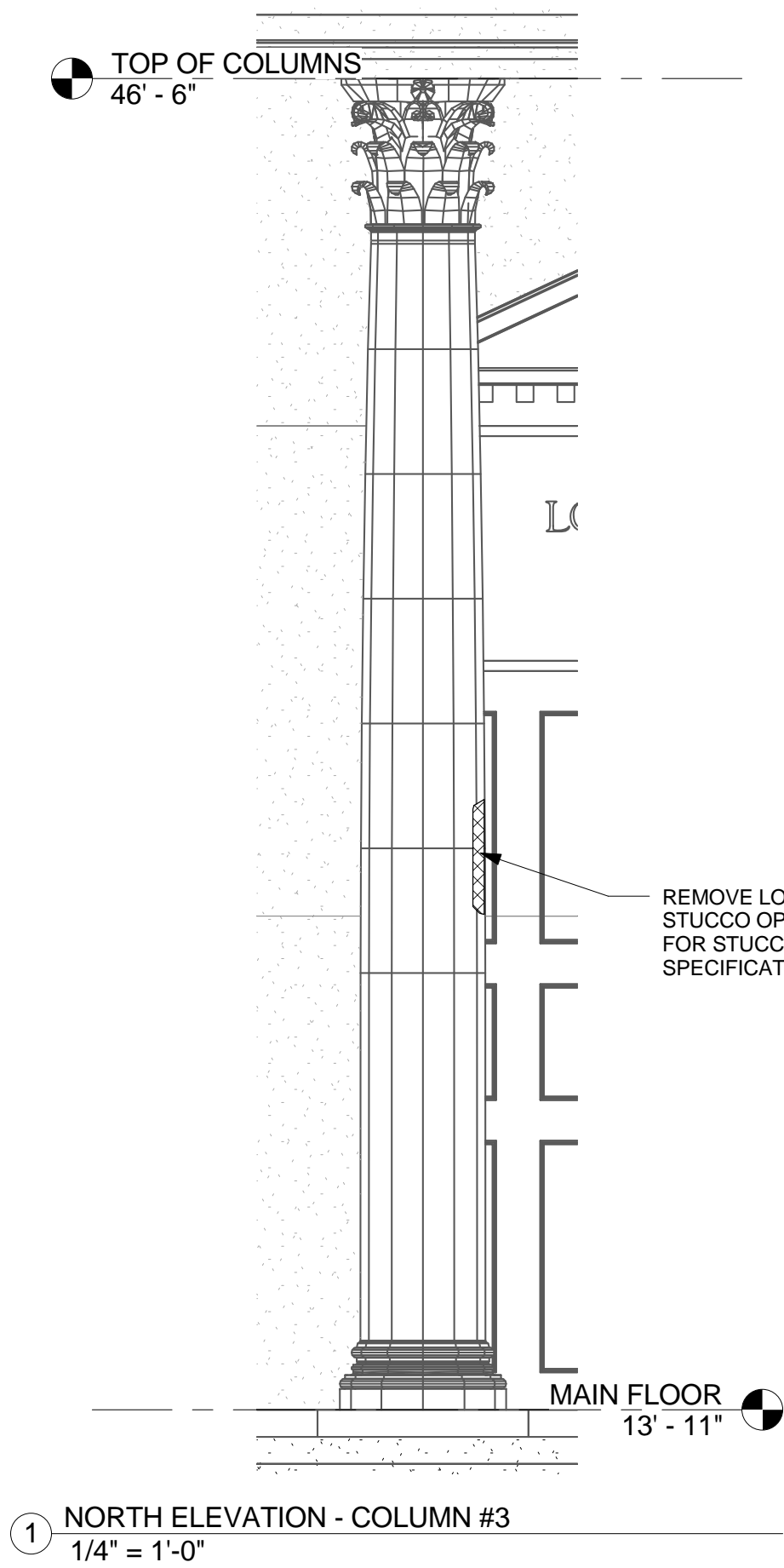
PROJECT NAME
USC LONGSTREET THEATER
EXTERIOR REPAIRS

LOCATION
1300 GREENE STREET, COLUMBIA, SC 29201

REVISIONS		
NO.	DATE	DESCRIPTION
USC PROJECT NUMBER H27-6100-G		
PROJECT NUMBER 14090		
SHEET NUMBER A403		
SHEET NAME ENLARGED PARTIAL ELEVATIONS		
DATE 04/22/2015		

BID DOCUMENTS - APRIL 22, 2015

8/20/16 8:53:30 AM



BID DOCUMENTS - APRIL 22, 2015

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<div>CLIENT NAME UNIVERSITY OF SOUTH CAROLINA</div>					
<div>PROJECT NAME USC LONGSTREET THEATER EXTERIOR REPAIRS</div>					
<div>LOCATION 1300 GREENE STREET, COLUMBIA, SC 29201</div>					
REVISIONS					
NO.	DATE	DESCRIPTION			
USC PROJECT NUMBER		H27-6100-G			
PROJECT NUMBER		14090			
SHEET NUMBER		A404			
SHEET NAME		ENLARGED ELEVATIONS			
DATE		04/22/2015			

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1 EXISTING CONDITIONS- PEDIMENT NORTH ELEVATION
N.T.S.



2 EXISTING CONDITIONS- PEDIMENT FLASHING DETAIL @ NORTH ELEVATION, NE CORNER
N.T.S.

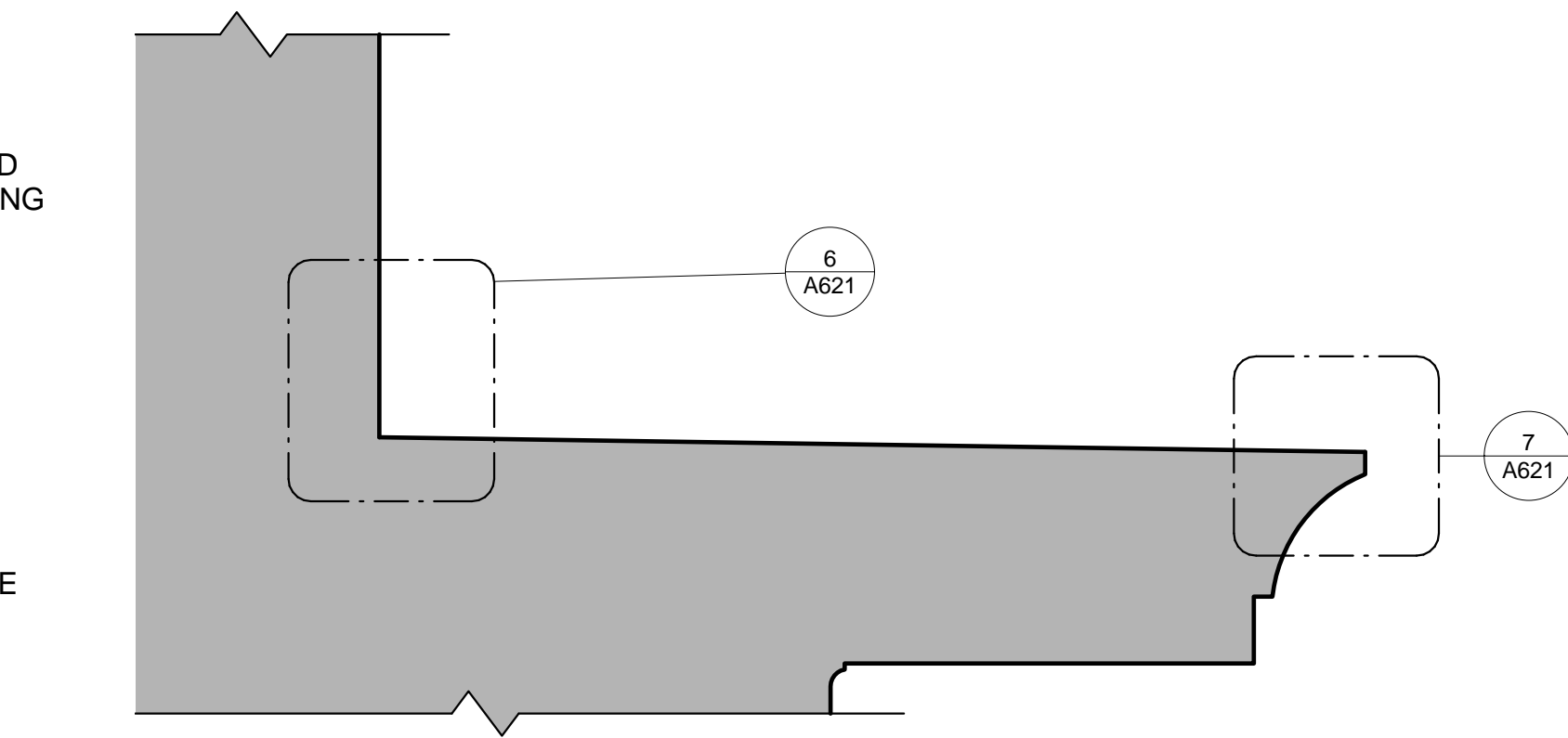


3 EXISTING CONDITIONS- PEDIMENT FLASHING DETAIL @ NORTH ELEVATION, NW CORNER
N.T.S.



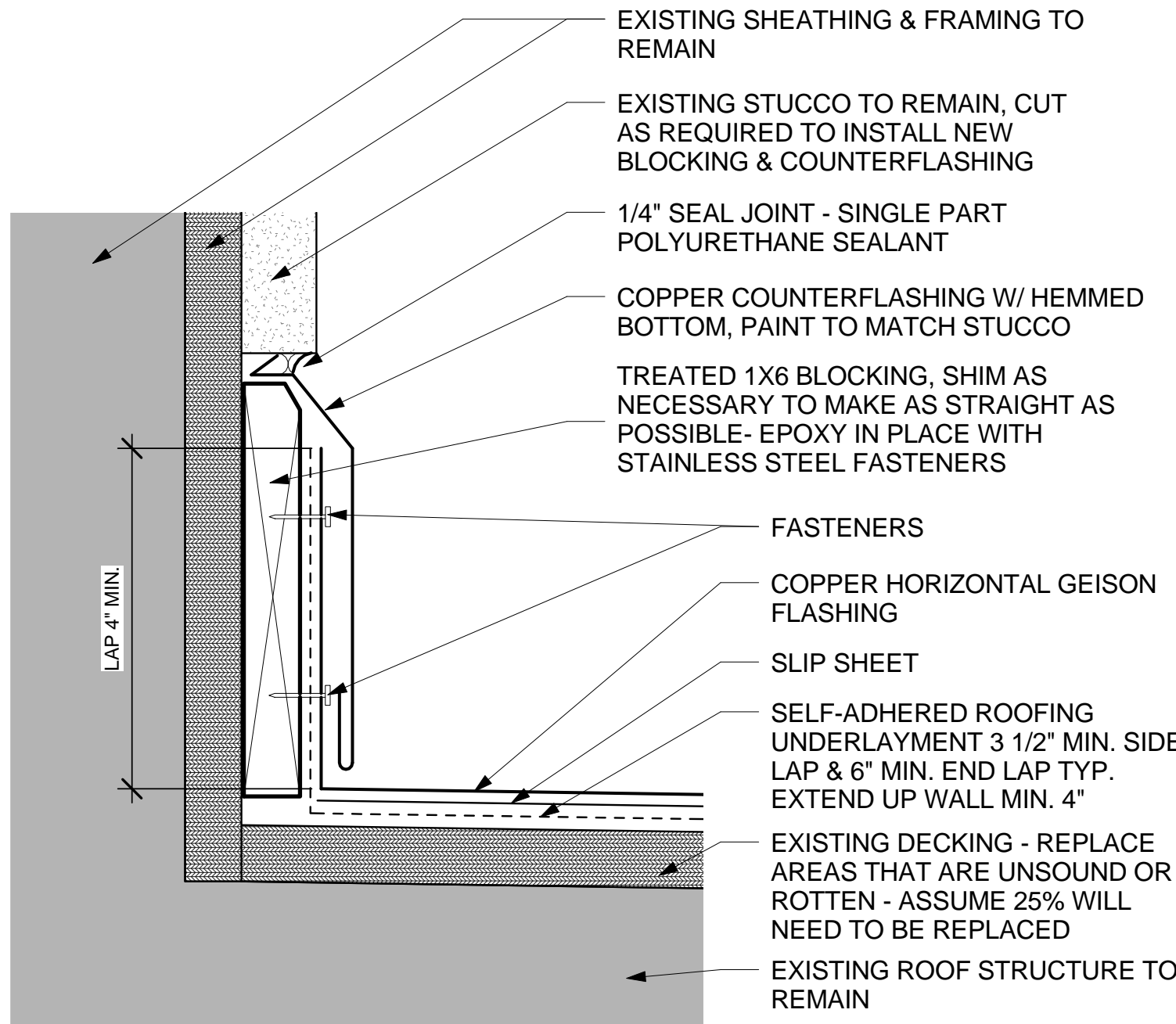
4 EXISTING CONDITIONS- PEDIMENT FLASHING DETAIL @ SOUTH ELEVATION
N.T.S.

- EXISTING STUCCO OVER WOOD SHEATHING & FRAMING
- EXISTING WOOD TRIM TO BE PARTIALLY REMOVED (STAGGER JOINTS OF REMOVED TRIM) & REINSTALLED AFTER NEW FLASHING IS INSTALLED AT HORIZONTAL GEISON
- EXISTING LIGHT TO BE TEMPORARILY REMOVED COMPLETE AND CAPPED
- EXISTING FLASHING AT HORIZONTAL GEISON TO BE REPLACED
- EXISTING BIRD DETERRENT SYSTEM TO BE REMOVED, FOLLOWING INSTALLATION OF FLASHING REPAIRS, INSTALL NEW BIRD DETERRENT SYSTEM IN KIND



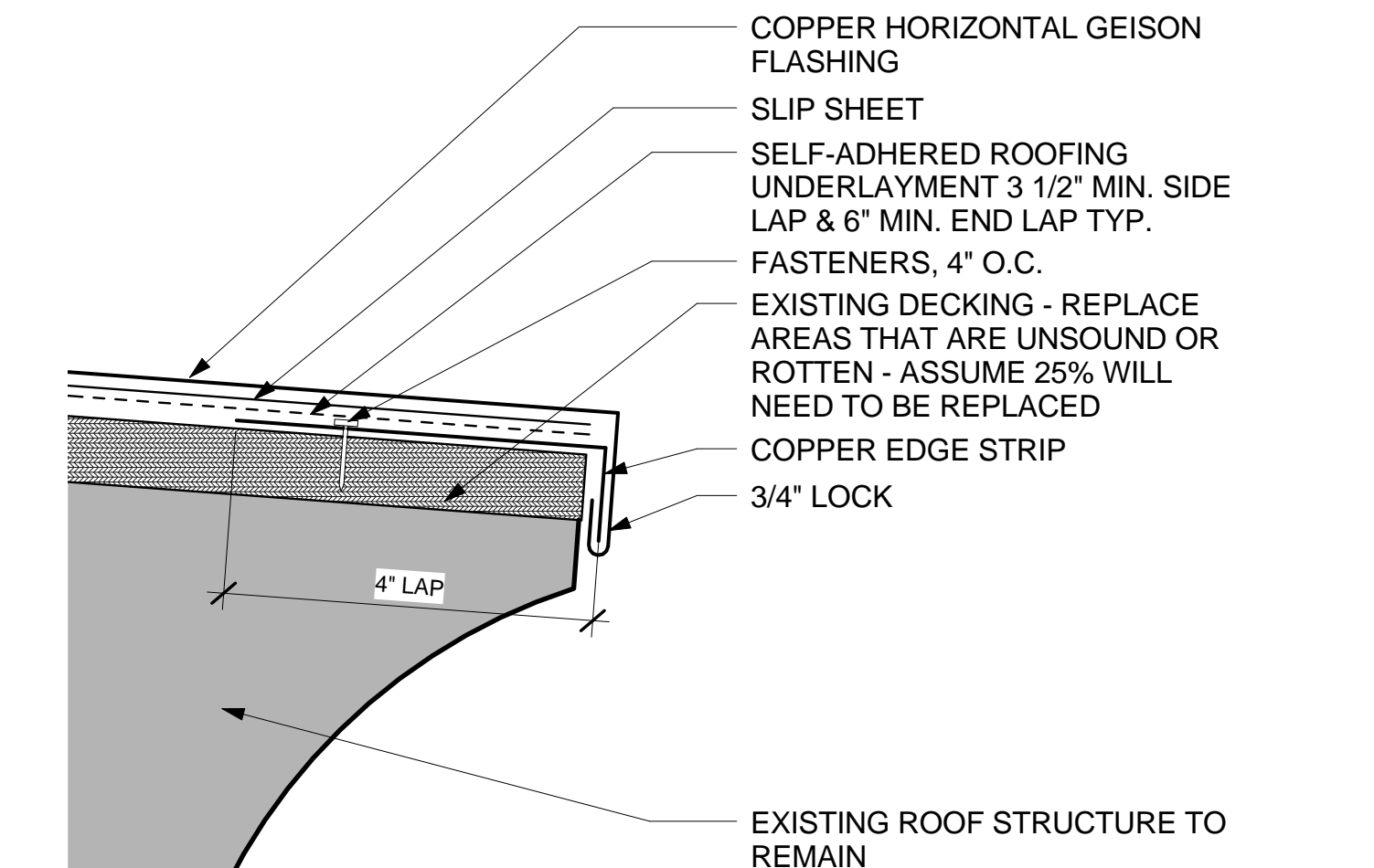
5 SECTION- HORIZONTAL GEISON @ CENTER
1 1/2" = 1'-0"

- REMOVE EXISTING JOINT SEALANT COMPLETE, INSTALL SINGLE COMPONENT NON SAG URETHANE JOINT SEALANT AT INTERSECTION OF WOOD & FLASHING, COLOR TBD BY ARCHITECT
- EXISTING WOOD TRIM TO BE PARTIALLY REMOVED (STAGGER JOINTS OF REMOVED TRIM) & REINSTALLED AFTER NEW FLASHING IS INSTALLED AT HORIZONTAL GEISON
- EXISTING FLASHING AT HORIZONTAL GEISON TO BE REPLACED
- EXISTING BIRD DETERRENT SYSTEM TO BE REMOVED, FOLLOWING INSTALLATION OF FLASHING REPAIRS, INSTALL NEW BIRD DETERRENT SYSTEM IN KIND



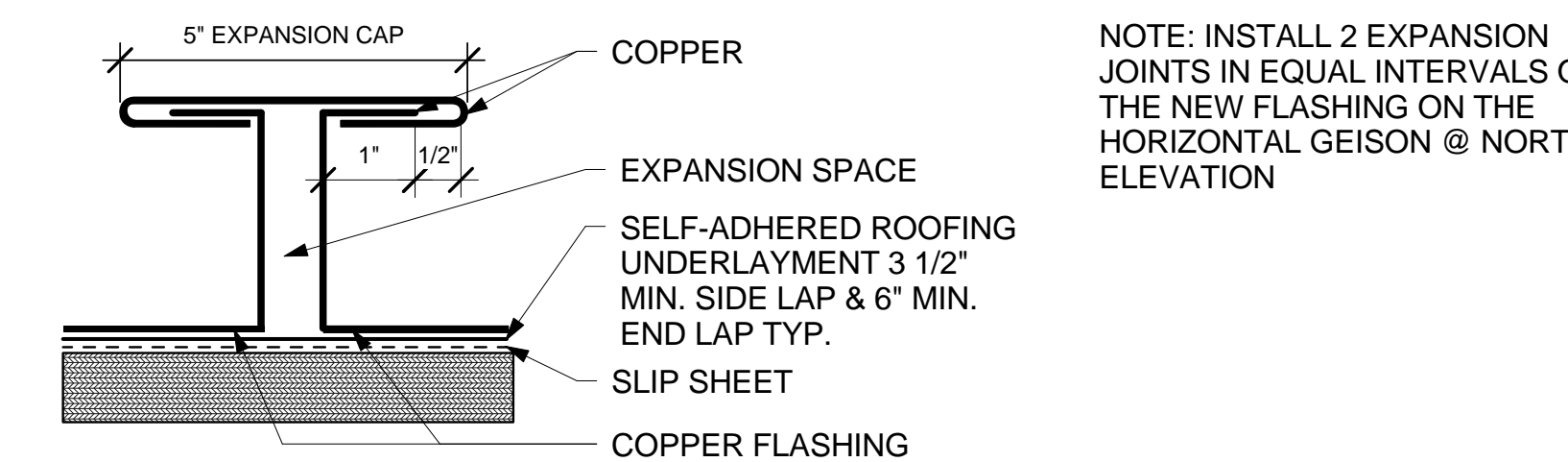
6 SECTION DETAIL- INTERSECT. OF STUCCO & HORIZONTAL GEISON
6" = 1'-0"

- EXISTING WOOD TRIM TO BE PARTIALLY REMOVED (STAGGER JOINTS OF REMOVED TRIM) & REINSTALLED AFTER NEW FLASHING IS INSTALLED AT HORIZONTAL GEISON
- REMOVE EXISTING JOINT SEALANT COMPLETE, INSTALL SINGLE COMPONENT NON SAG URETHANE JOINT SEALANT AT INTERSECTION OF WOOD & FLASHING, COLOR TBD BY ARCHITECT
- EXISTING FLASHING AT HORIZONTAL GEISON TO BE REPLACED
- EXISTING BIRD DETERRENT SYSTEM TO BE REMOVED, FOLLOWING INSTALLATION OF FLASHING REPAIRS, INSTALL NEW BIRD DETERRENT SYSTEM IN KIND



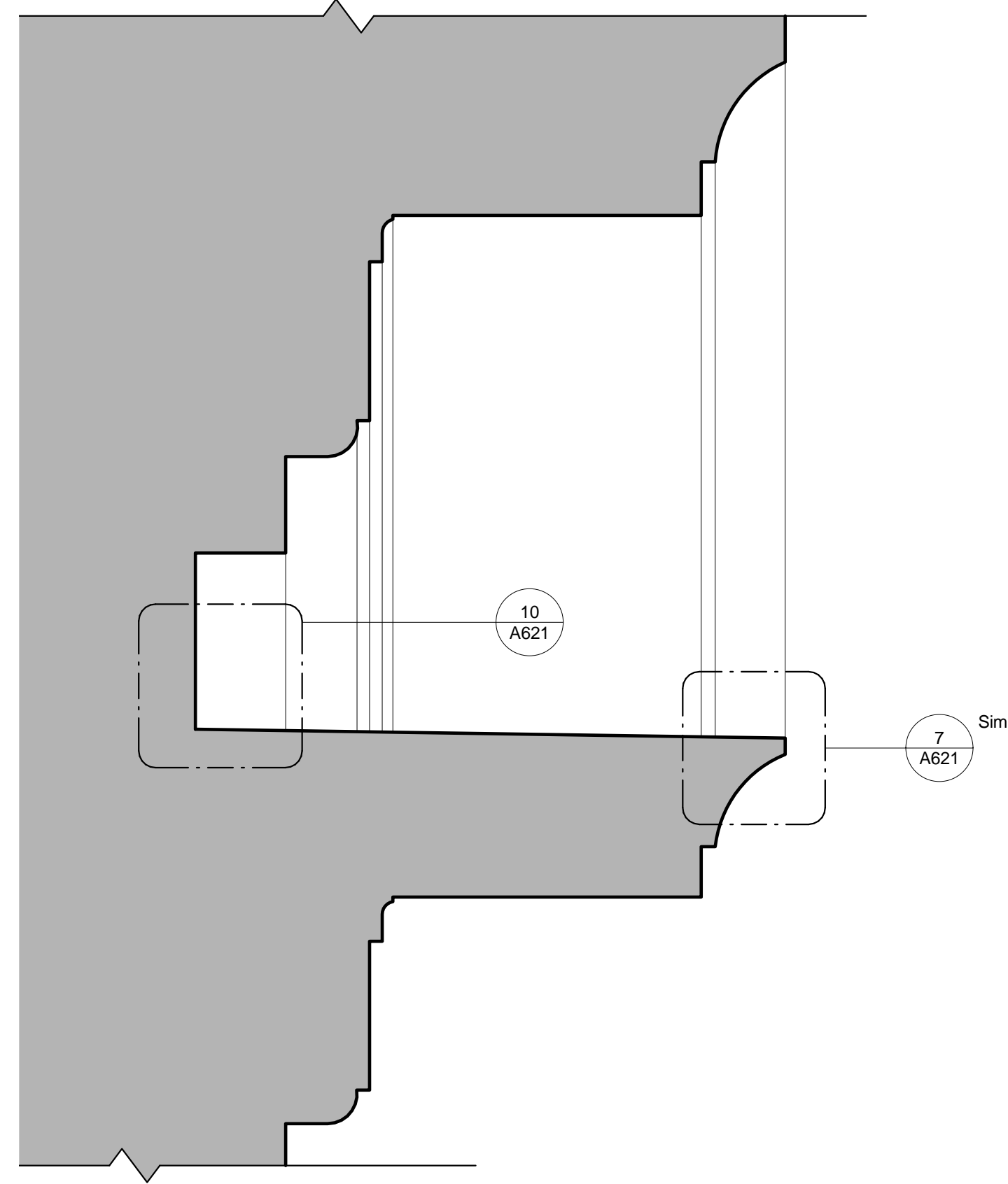
7 SECTION DETAIL- DRIP EDGE @ HORIZ. GEISON
6" = 1'-0"

- REMOVE EXISTING JOINT SEALANT COMPLETE, INSTALL SINGLE COMPONENT NON SAG URETHANE JOINT SEALANT AT INTERSECTION OF WOOD & FLASHING, COLOR TBD BY ARCHITECT
- SOLDER ALL LAP JOINTS BETWEEN SHEETS OF FLASHING AT HORIZONTAL GEISONS ON THE NORTH & SOUTH ELEVATIONS, IF JOINTS BETWEEN SHEETS OF FLASHING ARE DOUBLE FOLDED AND INTACT NO ADDITIONAL SOLDERING IS REQUIRED, TYP.
- REMOVE EXTRANEIOUS FASTENERS, SOLDER ALL HOLES TYP.

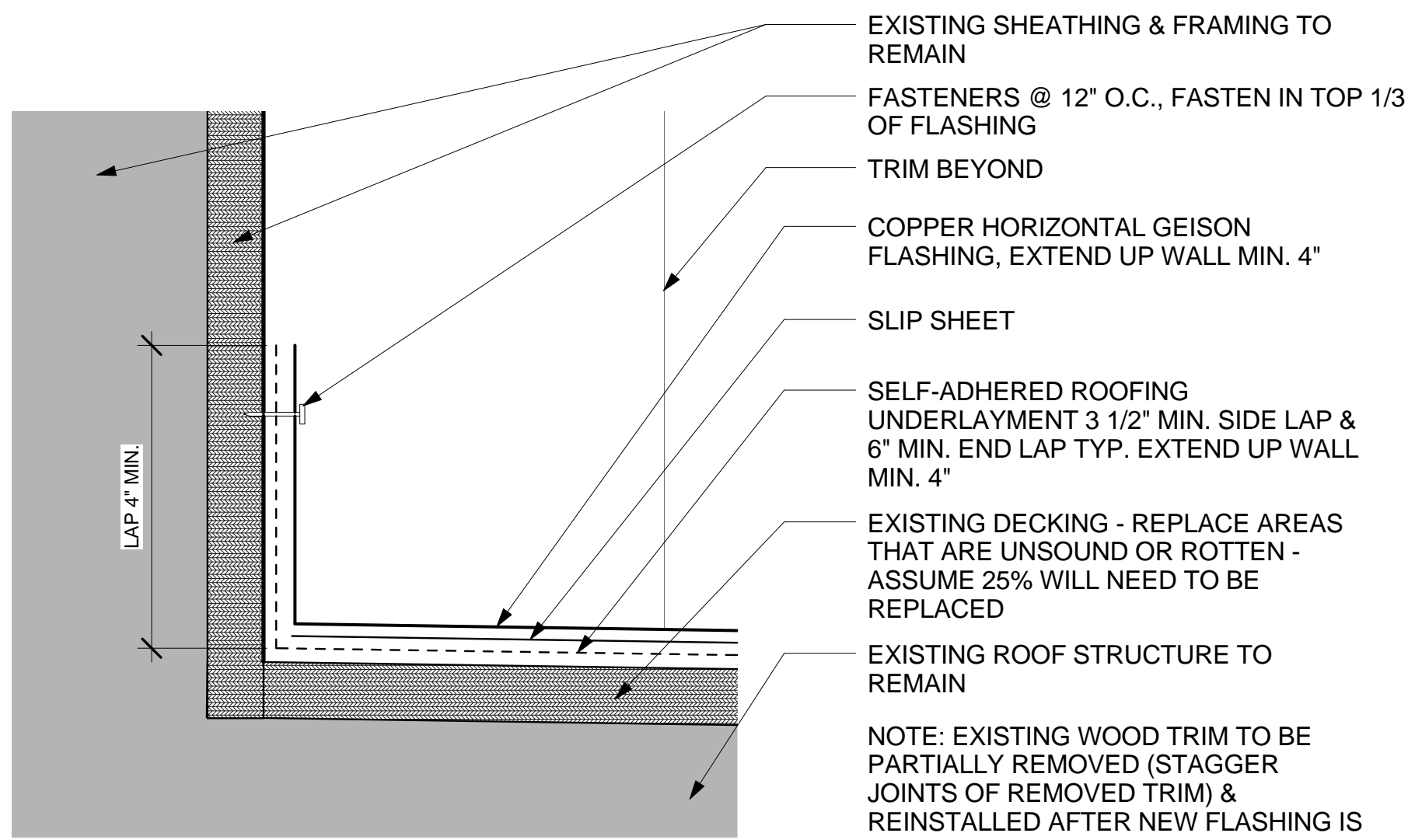


8 SECTION DETAIL- EXPANSION JOINT
6" = 1'-0"

NOTE: INSTALL 2 EXPANSION JOINTS IN EQUAL INTERVALS OF THE NEW FLASHING ON THE HORIZONTAL GEISON @ NORTH ELEVATION



9 SECTION- HORIZONTAL GEISON AT NW CORNER
1 1/2" = 1'-0"



10 SECTION DETAIL- INTERSECTION OF CORNICE TRIM & HORIZONTAL GEISON
6" = 1'-0"

GENERAL FLASHING NOTES

- ANY DISCREPANCIES IN THE EXISTING CONSTRUCTION ASSEMBLY SHALL BE BROUGHT THE ARCHITECT'S ATTENTION IMMEDIATELY.
- SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS.
- PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
- SOLDER ALL HOLES IN FLASHING AT HORIZONTAL GEISON ON THE SOUTH ELEVATION (@ INTERSECTION OF ORIGINAL BUILDING AND ANNEX).
- SOLDER ALL LAP JOINTS BETWEEN SHEETS OF FLASHING AT HORIZONTAL GEISONS ON THE NORTH & SOUTH ELEVATIONS, IF JOINTS BETWEEN SHEETS OF FLASHING ARE DOUBLE FOLDED AND INTACT NO ADDITIONAL SOLDERING IS REQUIRED.

REVISIONS

NO.	DATE	DESCRIPTION
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USC PROJECT NUMBER	H27-6100-G
PROJECT NUMBER	14090
SHEET NUMBER	A621
SHEET NAME	PEDIMENT FLASHING DETAILS
DATE	04/22/2015

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1 EXISTING CONDITIONS- COLUMNS @ NORTH ELEVATION
N.T.S.



2 EXISTING CONDITIONS- DETAIL OF COLUMNS ON NORTH ELEVATION
N.T.S.

EXISTING WOOD TRIM AT PEDIMENT

EXISTING CAST IRON COLUMN CAPITAL

EXISTING MASONRY COLUMNS COVERED IN STUCCO

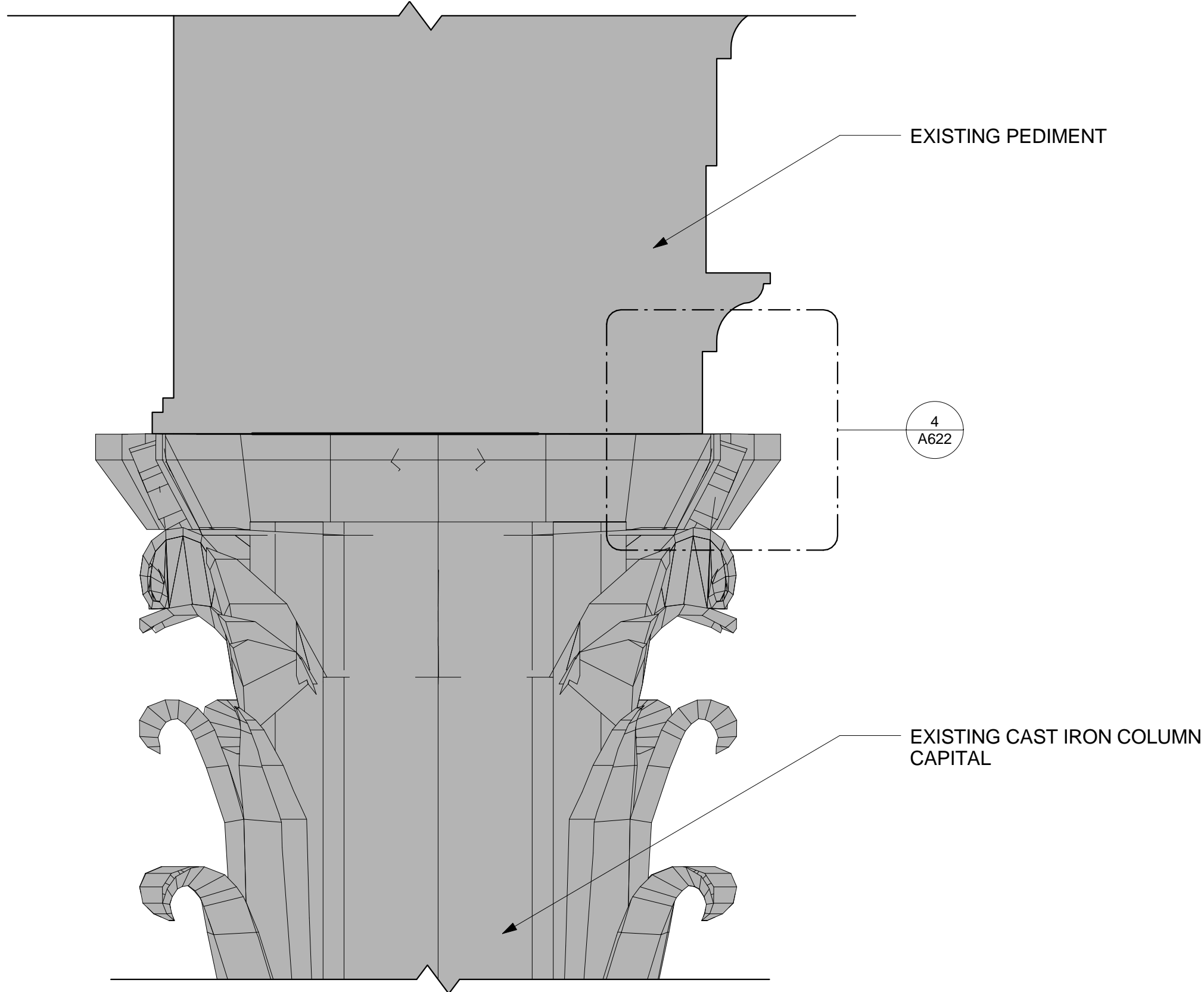
EXISTING WOOD TRIM AT PEDIMENT

INSTALL NEW COPPER FLASHING BEHIND MORTAR WASH, TYP.

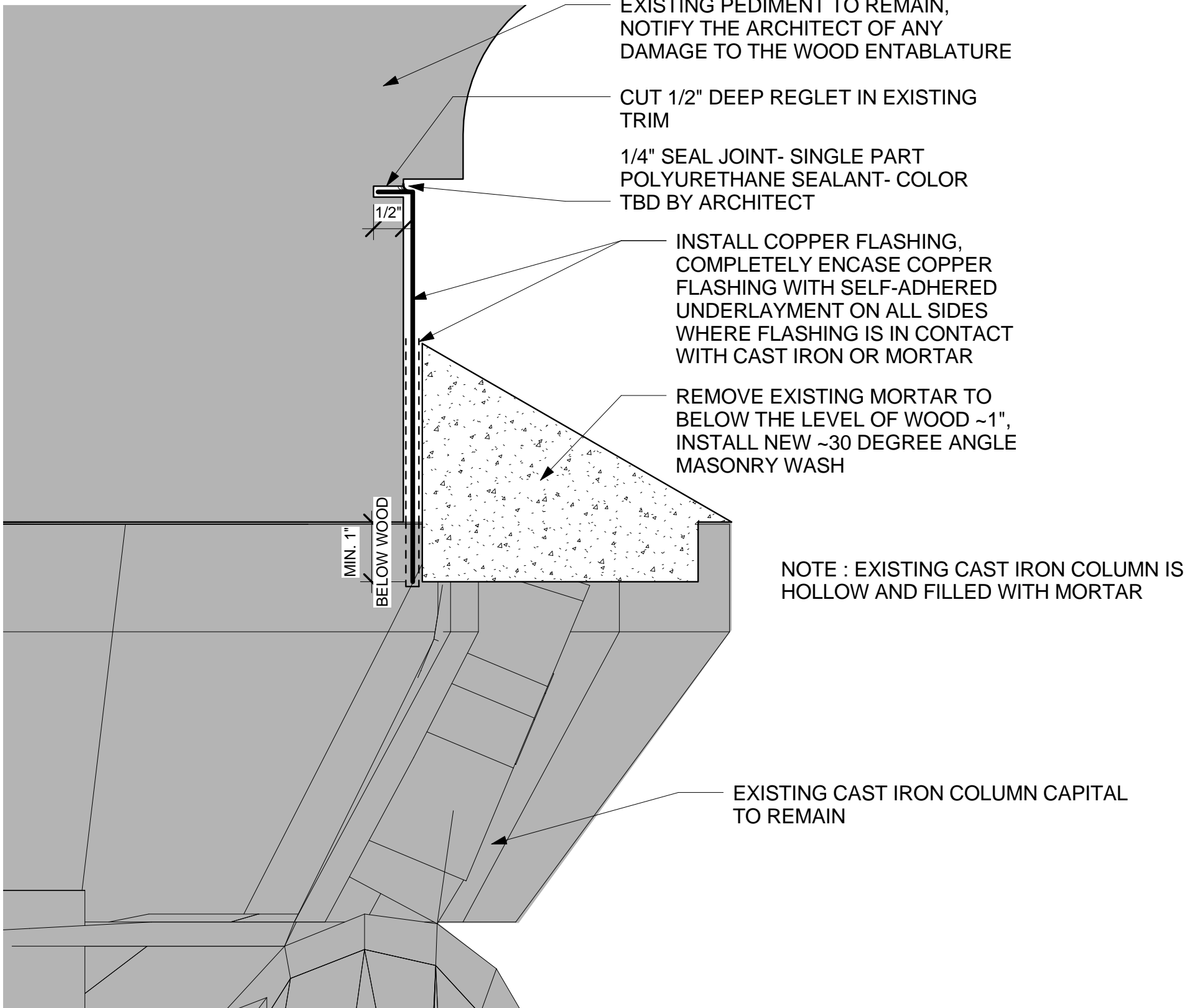
REMOVE EXISTING MORTAR WASH, APPLY NEW MORTAR WASH W/ MASONRY SURFACE TREATMENT, TYP.

EXISTING CAST IRON COLUMN CAPITAL

EXISTING MASONRY COLUMNS COVERED IN STUCCO



3 SECTION- INTERSECTION OF COLUMN CAPITAL & PEDIMENT
1 1/2" = 1'-0"



4 SECTION DETAIL- COLUMN CAPITAL FLASHING & MORTAR WASH
6" = 1'-0"

GENERAL FLASHING NOTES

- ANY DISCREPANCIES IN THE EXISTING CONSTRUCTION ASSEMBLY SHALL BE BROUGHT THE ARCHITECT'S ATTENTION IMMEDIATELY.
- SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS.
- PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.

BID DOCUMENTS- APRIL 22, 2015

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CLIENT NAME UNIVERSITY OF SOUTH CAROLINA		PROJECT NAME USC LONGSTREET THEATER EXTERIOR REPAIRS			
PROJECT NUMBER H27-6100-G		SHEET NUMBER A622			
PROJECT NAME COLUM FLASHING DETAILS		DATE 04/22/2015			
LOCATION 1300 GREENE STREET, COLUMBIA, SC 29201					

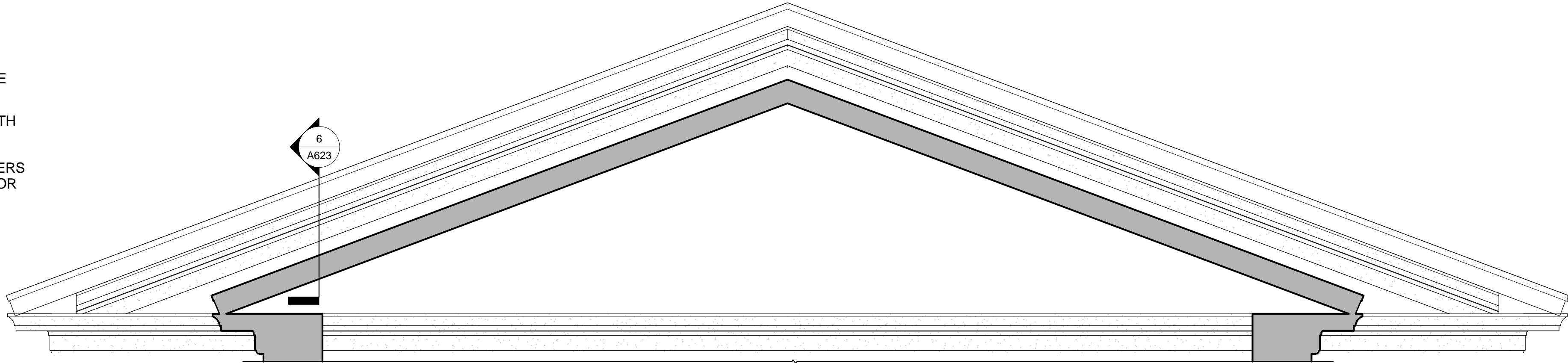
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1 EXISTING CONDITIONS- NORTH ELEVATION ROOF PANELS
N.T.S.

TIGHTEN EXISTING SCREWS IN FIRST PANEL OF ROOF, REPLACE MISSING IN KIND, TYP.

COAT FIRST PANEL OF ROOF WITH COLD FLUID APPLIED WATERPROOFING, COLOR SELECTED FROM MANUFACTURERS STANDARD COLORS. FINAL COLOR SELECTION TBD BY ARCHITECT, TYP.



5 SECTION- SOUTH ELEVATION @ INTERSECTION OF ORIGINAL BUILDING & ADDITION
1/4" = 1'-0"



2 EXISTING CONDITIONS- NORTH ELEVATION ROOF FLASHING
N.T.S.

TIGHTEN EXISTING SCREWS IN FIRST PANEL OF ROOF, REPLACE MISSING IN KIND, TYP.

COAT FIRST PANEL OF ROOF WITH COLD FLUID APPLIED WATERPROOFING, COLOR SELECTED FROM MANUFACTURERS STANDARD COLORS. FINAL COLOR SELECTION TBD BY ARCHITECT



3 EXISTING CONDITIONS- SOUTH ELEVATION ROOF FLASHING
N.T.S.

ORIGINAL BUILDING

INSTALL COPPER COUNTERFLASHING IN EXISTING REGLET, REAM OUT JOINT AS NECESSARY FOR CONTINUOUS 3/4" DEEP REGLET, SEAL TOP OF COUNTERFLASHING WITH SINGLE COMPONENT NON SAG URETHANE JOINT SEALANT AT INTERSECTION OF WOOD & FLASHING, COLOR TBD BY ARCHITECT, TYP.

TIGHTEN EXISTING FASTENERS IN FLASHING, REPLACE MISSING IN KIND, TYP.

EXISTING COPPER STANDING SEAM ROOF OVER ANNEX BUILDING

TIGHTEN EXISTING FASTENERS IN FLASHING, REPLACE MISSING IN KIND, TYP.

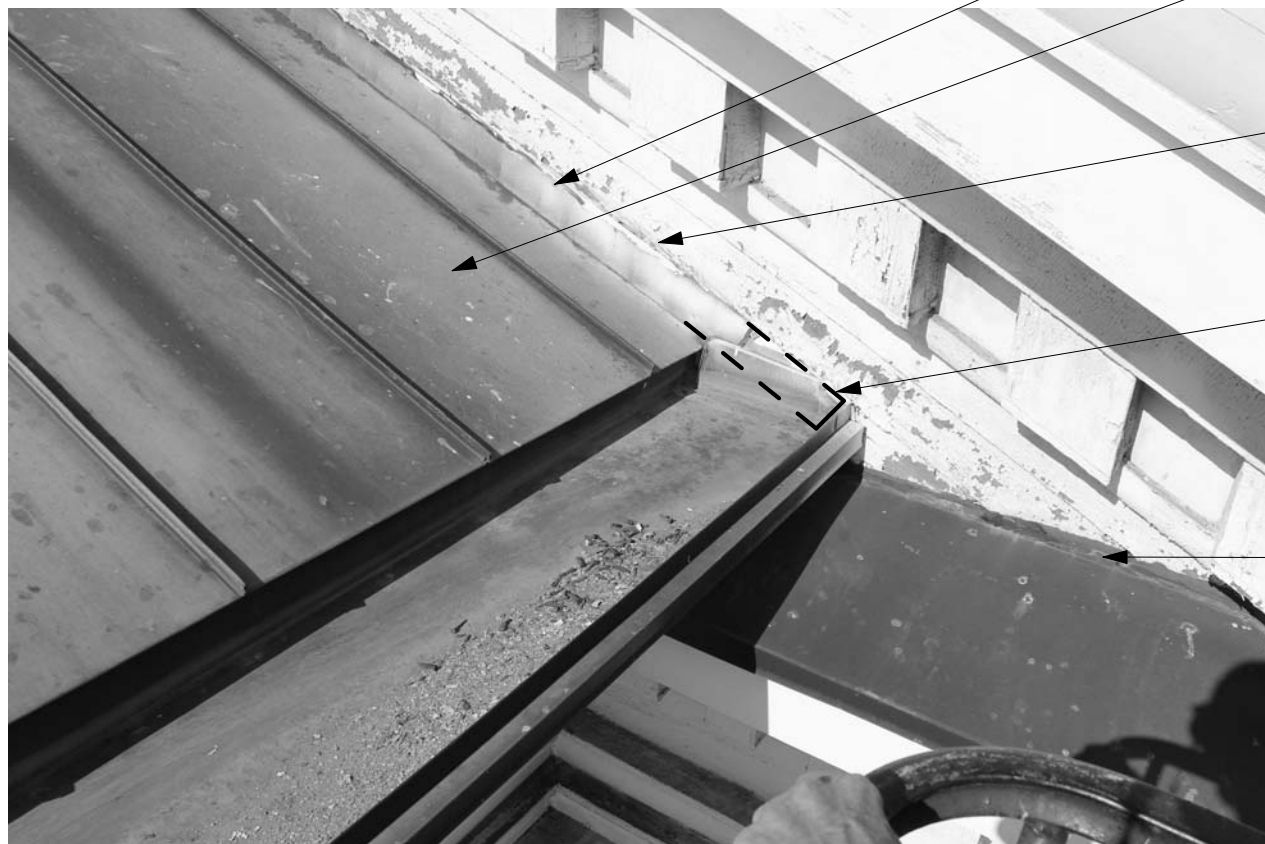
EXISTING COPPER STANDING SEAM ROOF OVER ANNEX BUILDING

INSTALL COPPER COUNTERFLASHING IN EXISTING REGLET, REAM OUT JOINT AS NECESSARY FOR CONTINUOUS 3/4" DEEP REGLET, SEAL TOP OF COUNTERFLASHING WITH SINGLE COMPONENT NON SAG URETHANE JOINT SEALANT AT INTERSECTION OF WOOD & FLASHING, COLOR TBD BY ARCHITECT, TYP.

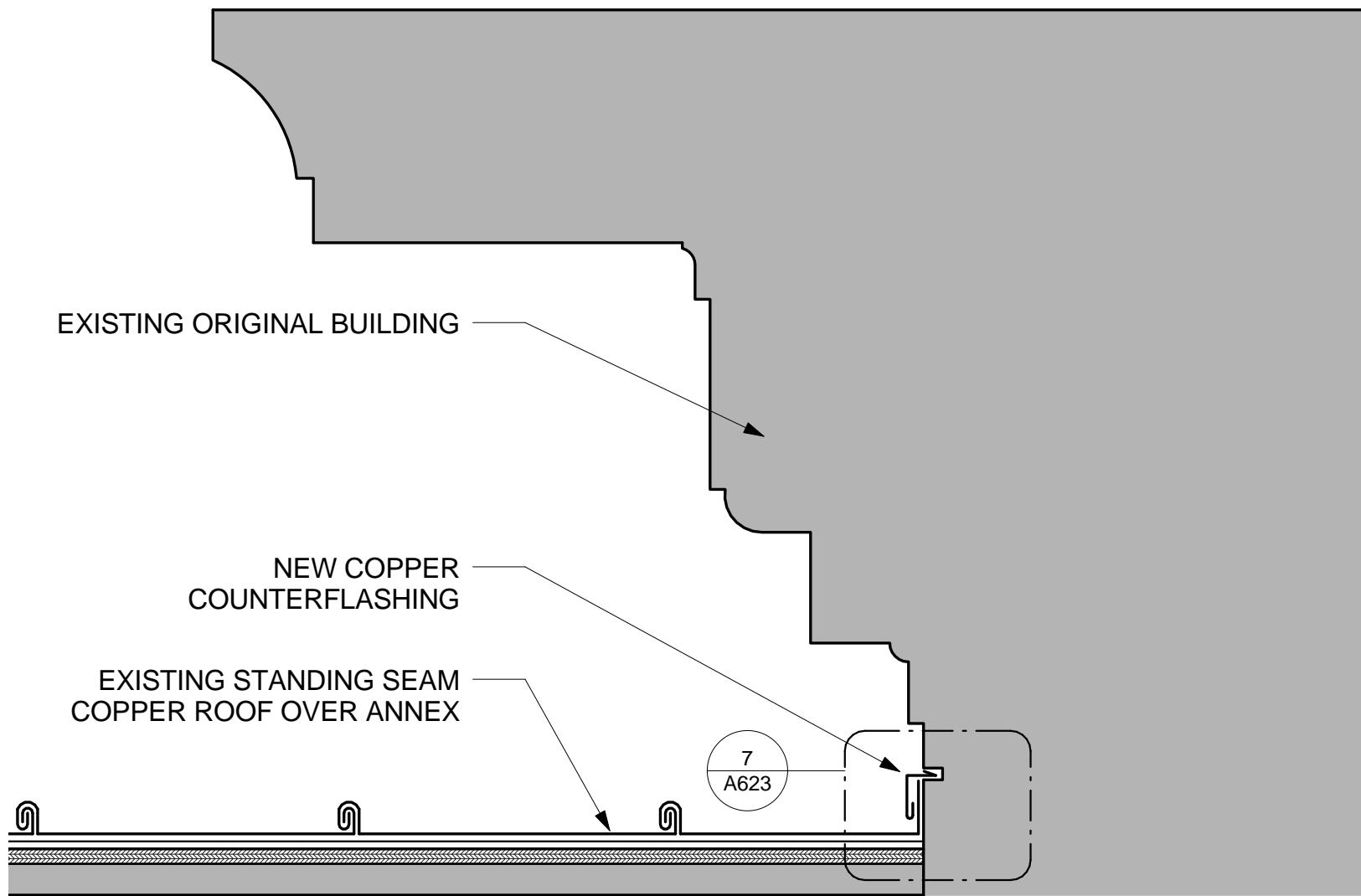
COPPER COUNTERFLASHING TO CONTINUE PAST THE ROOF LINE AND TERMINATE AT OUTSIDE EDGE OF EXISTING BUILT IN GUTTER (SEE DOTTED LINES FOR LOCATION OF EXTENSION)

REMOVE JOINT SEALANT COMPLETE, INSTALL SINGLE COMPONENT NON SAG URETHANE JOINT SEALANT AT INTERSECTION OF WOOD & FLASHING, TYP.

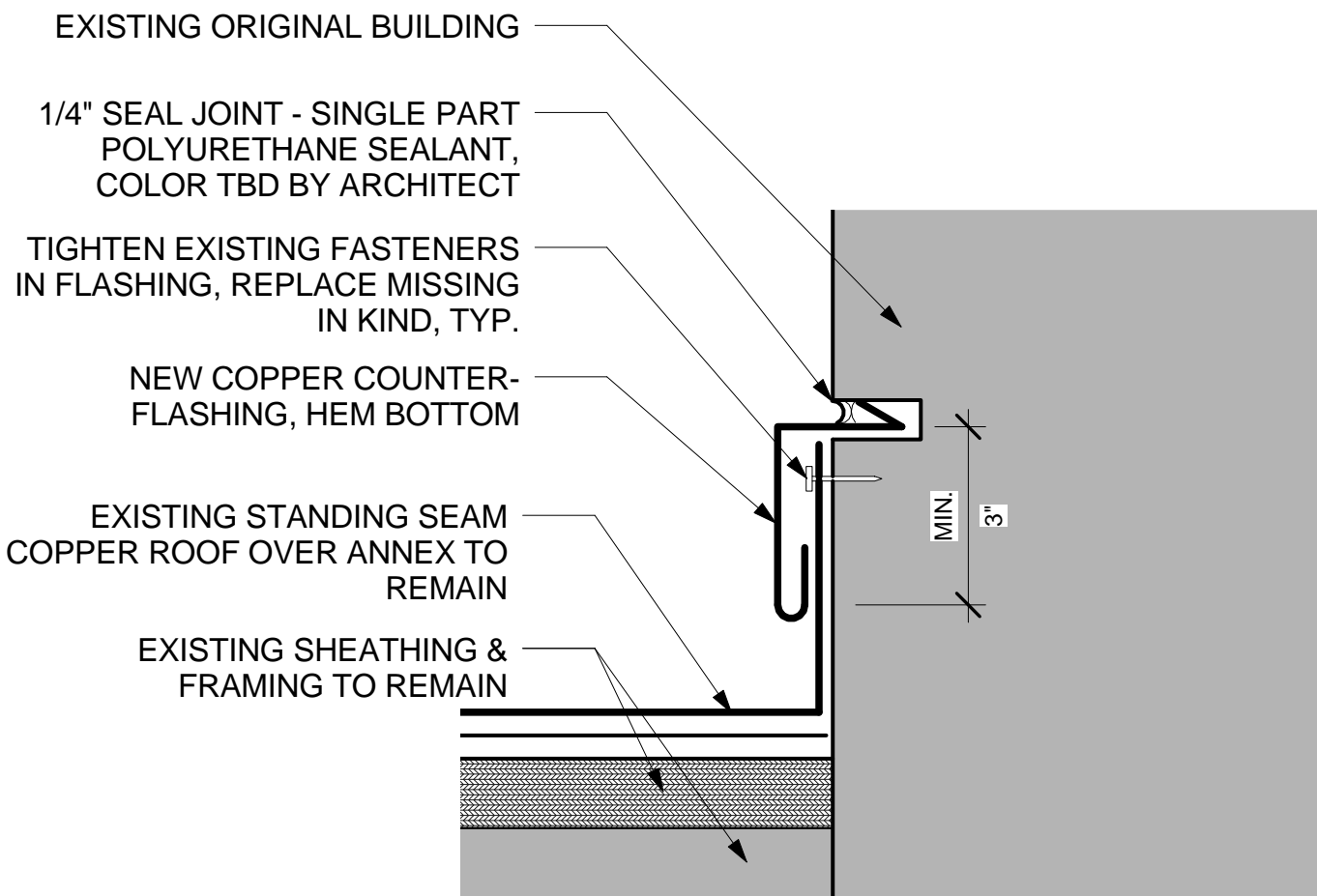
SOLDER ALL HOLES IN FLASHING AT SOUTH ELEVATION OF THE HORIZONTAL GEISON AT INTERSECTION OF ANNEX TO ORIGINAL BUILDING.



4 EXISTING CONDITIONS- SOUTH ELEVATION INTERSEC. OF ROOF FLASHING & GUTTER
N.T.S.



6 SECTION DETAIL- INTERSECTION OF FLASHING ORIGINAL BUILDING TO ANNEX ROOF
1 1/2" = 1'-0"



7 SECTION DETAIL- COUNTERFLASHING
6" = 1'-0"

GENERAL FLASHING NOTES

1. ANY DISCREPANCIES IN THE EXISTING CONSTRUCTION ASSEMBLY SHALL BE BROUGHT THE ARCHITECT'S ATTENTION IMMEDIATELY.
2. SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS.
3. PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
4. SOLDER ALL HOLES IN FLASHING AT HORIZONTAL GEISON ON THE SOUTH ELEVATION (@ INTERSECTION OF ORIGINAL BUILDING AND ANNEX).
5. SOLDER ALL LAP JOINTS BETWEEN SHEETS OF FLASHING AT HORIZONTAL GEISONS ON THE NORTH & SOUTH ELEVATIONS, IF JOINTS BETWEEN SHEETS OF FLASHING ARE DOUBLE FOLDED AND INTACT NO ADDITIONAL SOLDERING IS REQUIRED.

BID DOCUMENTS- APRIL 22, 2015

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COLUMBIA, SOUTH CAROLINA 29201
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STUDIO2LR.COM

MEADORS CONSERVATION

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA

PROJECT NAME
USC LONGSTREET THEATER
EXTERIOR REPAIRS

LOCATION
1300 GREENE STREET, COLUMBIA, SC 29201

REVISIONS		
NO.	DATE	DESCRIPTION

USC PROJECT NUMBER H27-6100-G

PROJECT NUMBER 14090

SHEET NUMBER
A623

SHEET NAME
ROOF FLASHING DETAILS

DATE 04/22/2015

4/22/2015 9:51:34 AM

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1 EXISTING CONDITIONS- GUTTER OVERALL
N.T.S.



2 EXISTING CONDITIONS- GUTTER DOWNSPOUT INLET
N.T.S.

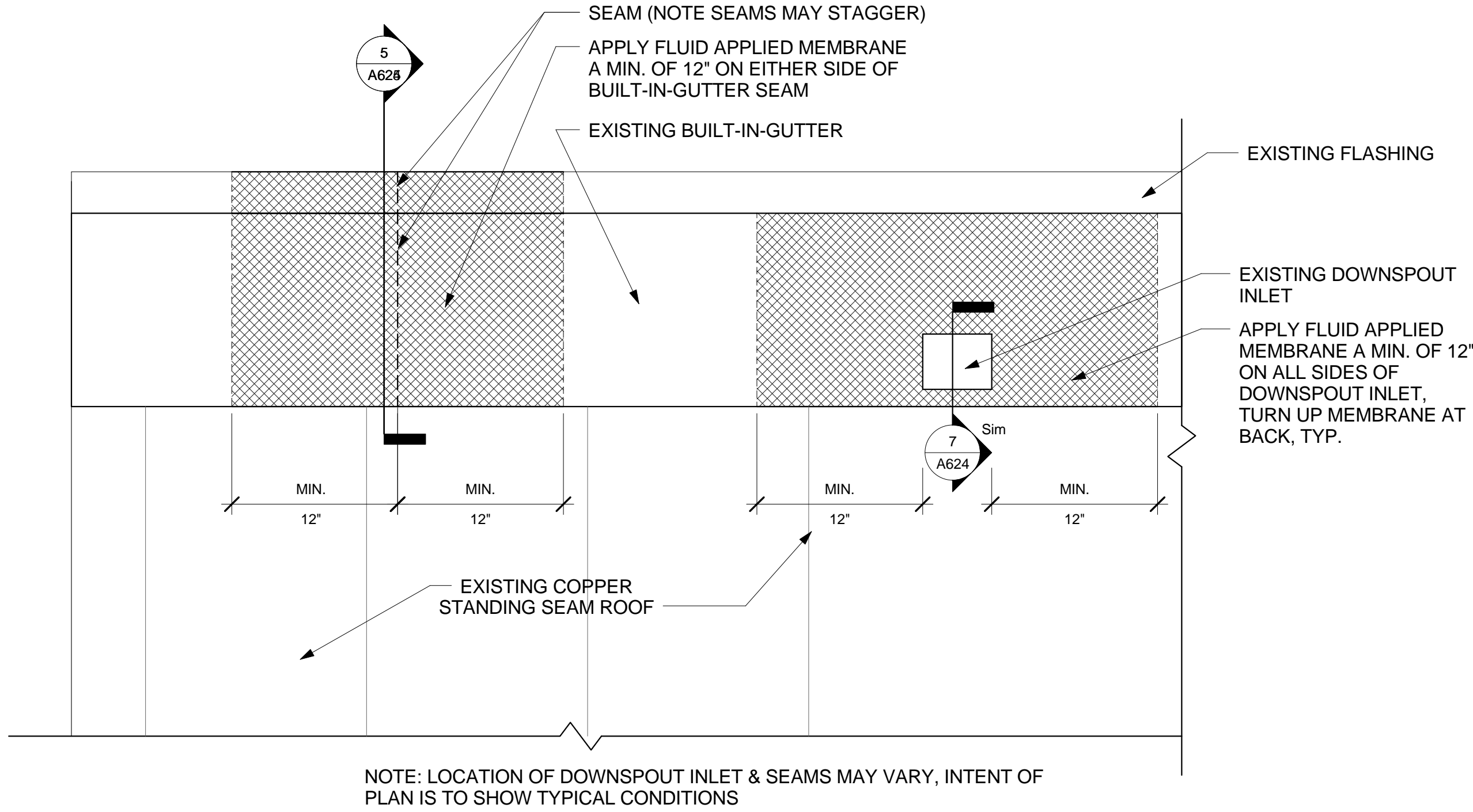


3 EXISTING CONDITIONS- GUTTER SEAM
N.T.S.

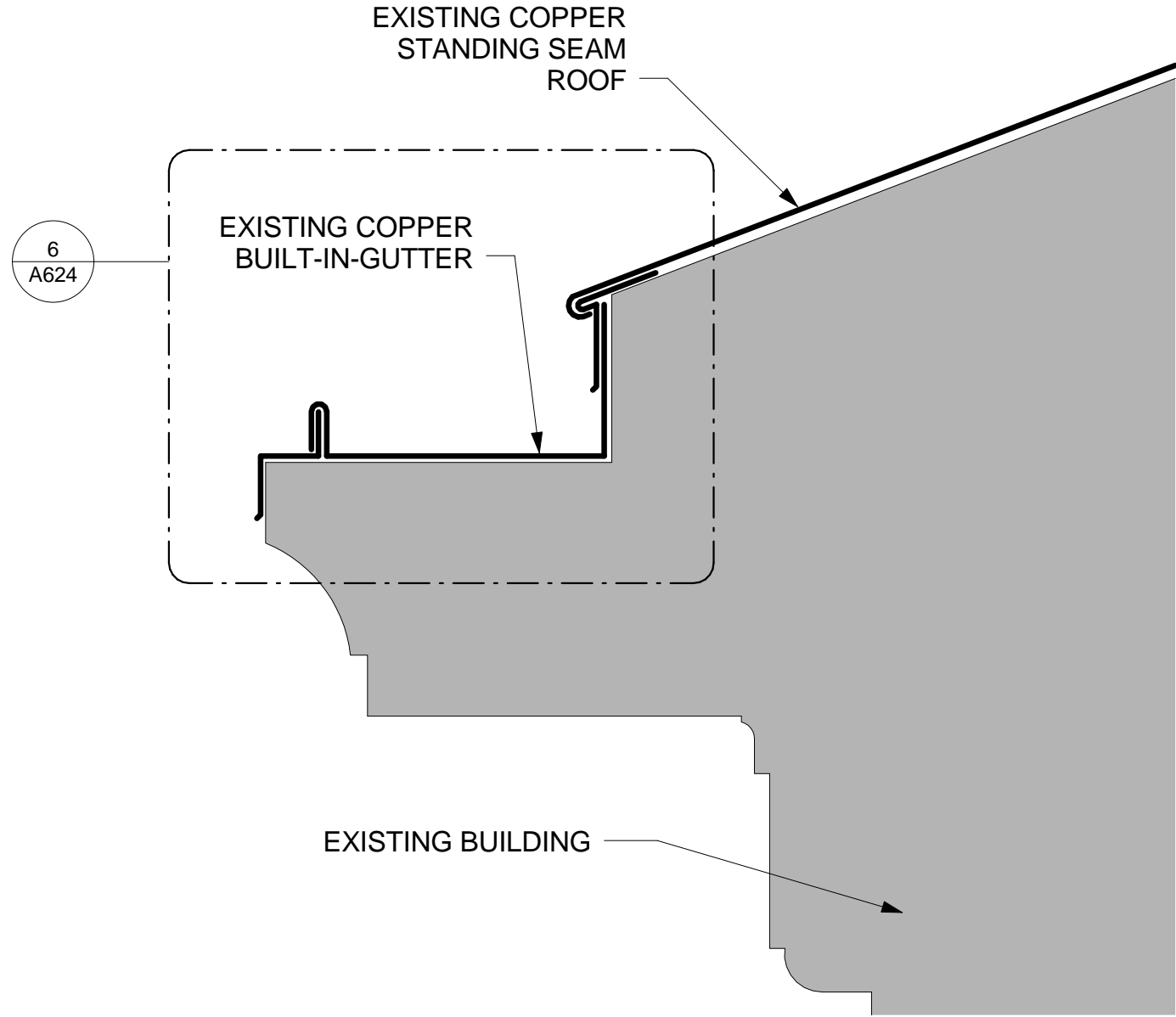
EXISTING COPPER STANDING SEAM ROOF
APPLY FLUID APPLIED MEMBRANE A MIN. OF 12" ON EITHER SIDE OF EDGE STRIP SEAM, TYP.
APPLY FLUID APPLIED MEMBRANE A MIN. OF 12" ON EITHER SIDE OF BUILT-IN-GUTTER SEAM, TYP.
EXISTING COPPER BUILT-IN-GUTTER
EXISTING COPPER FLASHING

EXISTING COPPER STANDING SEAM ROOF
EXISTING COPPER EDGE STRIP
EXISTING COPPER BUILT-IN-GUTTER
APPLY FLUID APPLIED MEMBRANE A MIN. OF 12" ON ALL SIDES OF DOWNSPOUT INLET, TURN UP MEMBRANE AT BACK, TYP.
APPLY FLUID APPLIED MEMBRANE A MIN. OF 12" ON EITHER SIDE OF FLASHING SEAM, TYP.

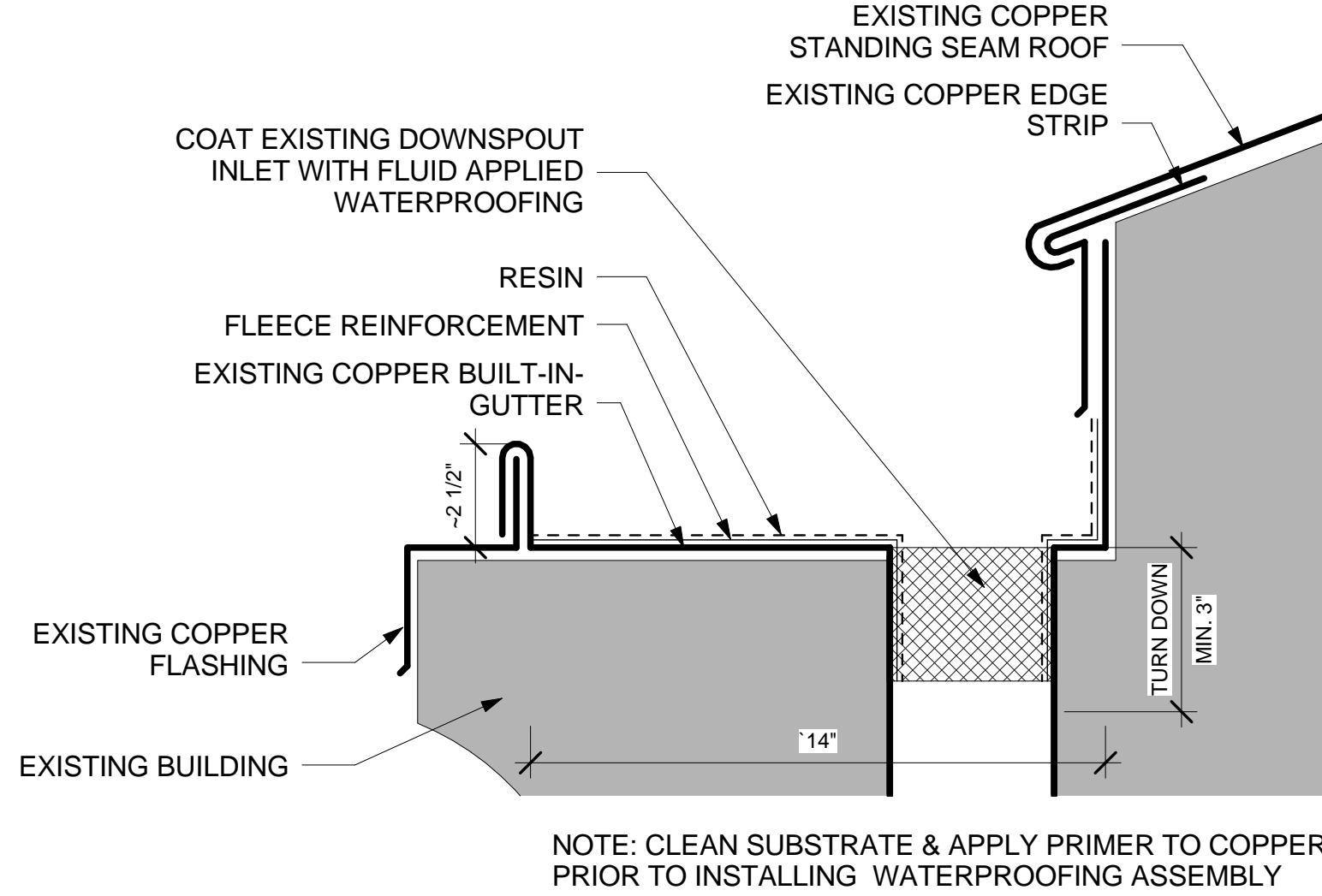
EXISTING COPPER STANDING SEAM ROOF
APPLY FLUID APPLIED MEMBRANE A MIN. OF 12" ON EITHER SIDE OF EDGE STRIP SEAM, TYP.
APPLY FLUID APPLIED MEMBRANE A MIN. OF 12" ON EITHER SIDE OF BUILT-IN-GUTTER SEAM, TYP.
EXISTING COPPER BUILT-IN-GUTTER
APPLY FLUID APPLIED MEMBRANE A MIN. OF 6" ON EITHER SIDE OF FLASHING SEAM, TYP.



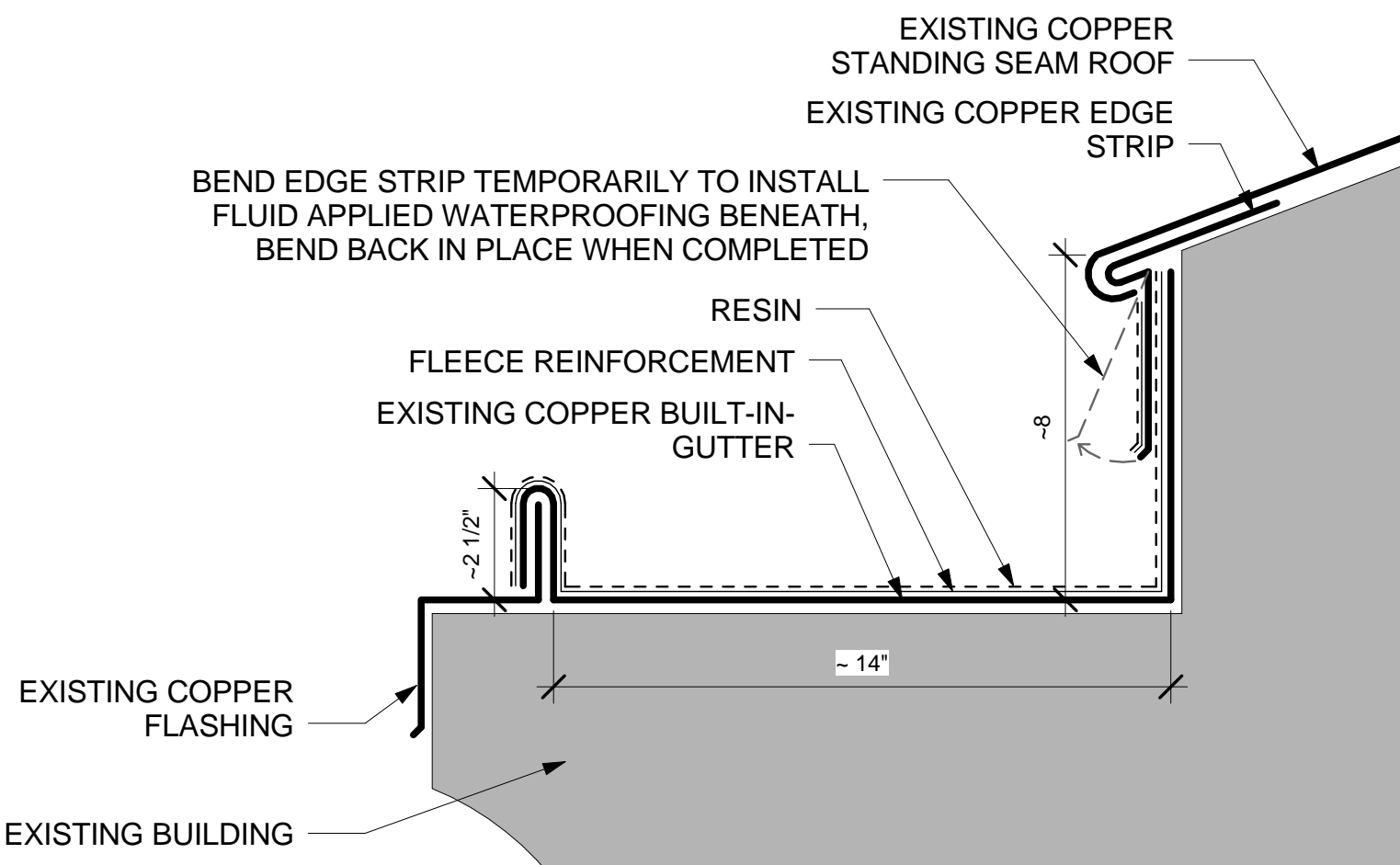
4 PLAN DETAIL-FLUID APPLIED MEMBRANE @ BUILT-IN-GUTTER
1 1/2" = 1'-0"



5 SECTION- EXISTING BUILT-IN-GUTTER
1 1/2" = 1'-0"



7 SECTION DETAIL- FLUID APPLIED WATERPROOFING @ DOWNSPOUT INLET
3" = 1'-0"



6 SECTION DETAIL- FLUID APPLIED WATERPROOFING @ BUILT-IN-GUTTER SEAMS
3" = 1'-0"

GENERAL FLASHING NOTES

- ANY DISCREPANCIES IN THE EXISTING CONSTRUCTION ASSEMBLY SHALL BE BROUGHT THE ARCHITECT'S ATTENTION IMMEDIATELY.
- SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS.
- PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
- SOLDER ALL HOLES IN BUILT-IN-GUTTERS AND ADJACENT FLASHING

BID DOCUMENTS- APRIL 22, 2015

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MEADORS CONSERVATION

CLIENT NAME UNIVERSITY OF SOUTH CAROLINA	PROJECT NAME USC LONGSTREET THEATER EXTERIOR REPAIRS	LOCATION 1300 GREENE STREET, COLUMBIA, SC 29201
REVISIONS		
NO.	DATE	DESCRIPTION
USC PROJECT NUMBER		H27-6100-G
PROJECT NUMBER		14090
SHEET NUMBER		A624
SHEET NAME		GUTTER FLASHING DETAILS
DATE		04/22/2015

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1 EXISTING CONDITIONS- GUTTER EXPANSION JOINT @ EAST ELEVATION
N.T.S.

EXISTING COPPER EXPANSION JOINT
EXISTING COPPER STANDING SEAM ROOF
EXISTING COPPER EDGE STRIP

EXISTING COPPER BUILT-IN-GUTTER
SOLDER ALL HOLES IN EXISTING BUILT-IN-GUTTER & ADJACENT FLASHING



2 EXISTING CONDITIONS- GUTTER EXPANSION JOINT @ WEST ELEVATION
N.T.S.

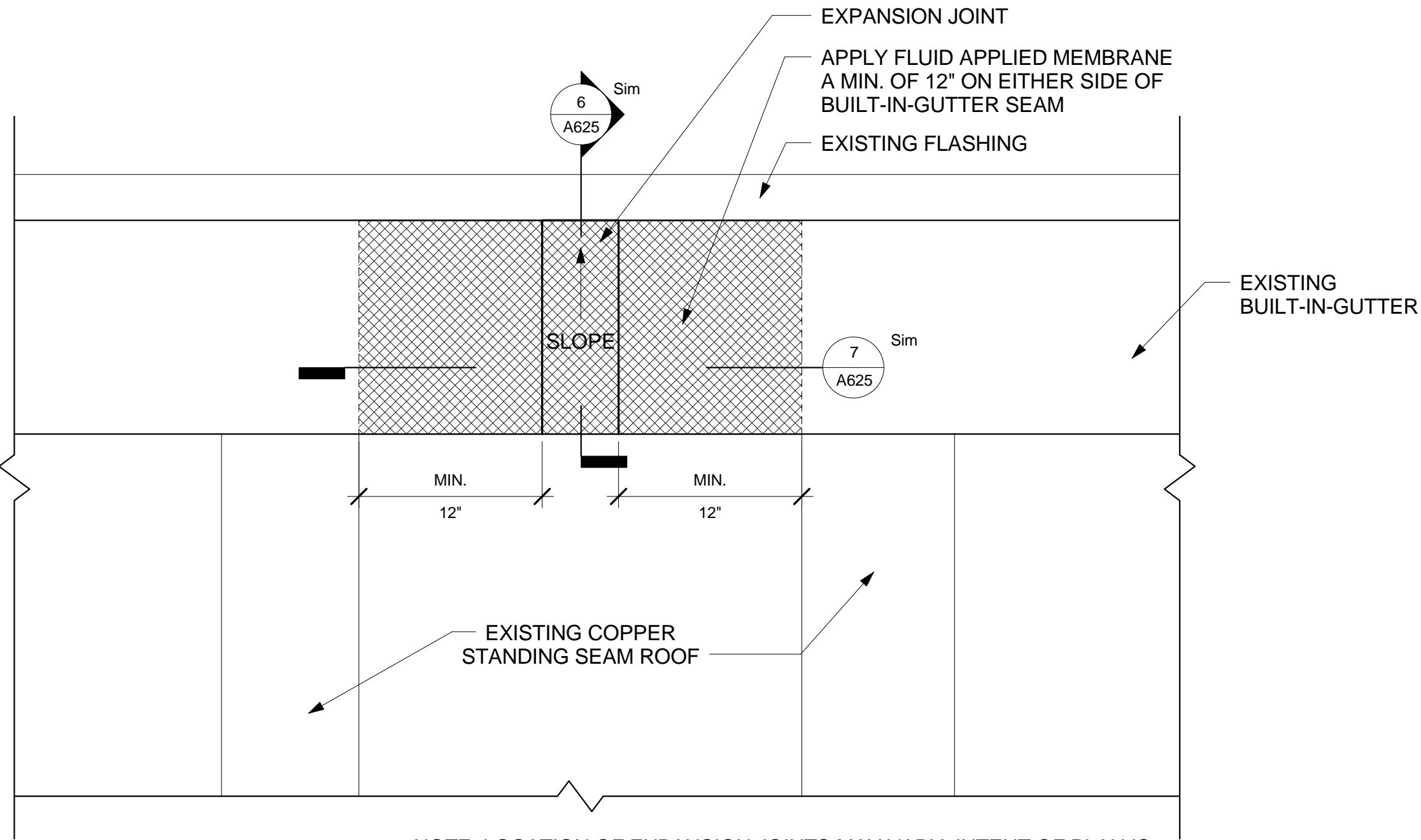
EXISTING COPPER STANDING SEAM ROOF
EXISTING COPPER EXPANSION JOINT

EXISTING COPPER BUILT-IN-GUTTER
SOLDER ALL HOLES IN EXISTING BUILT-IN-GUTTER & ADJACENT FLASHING



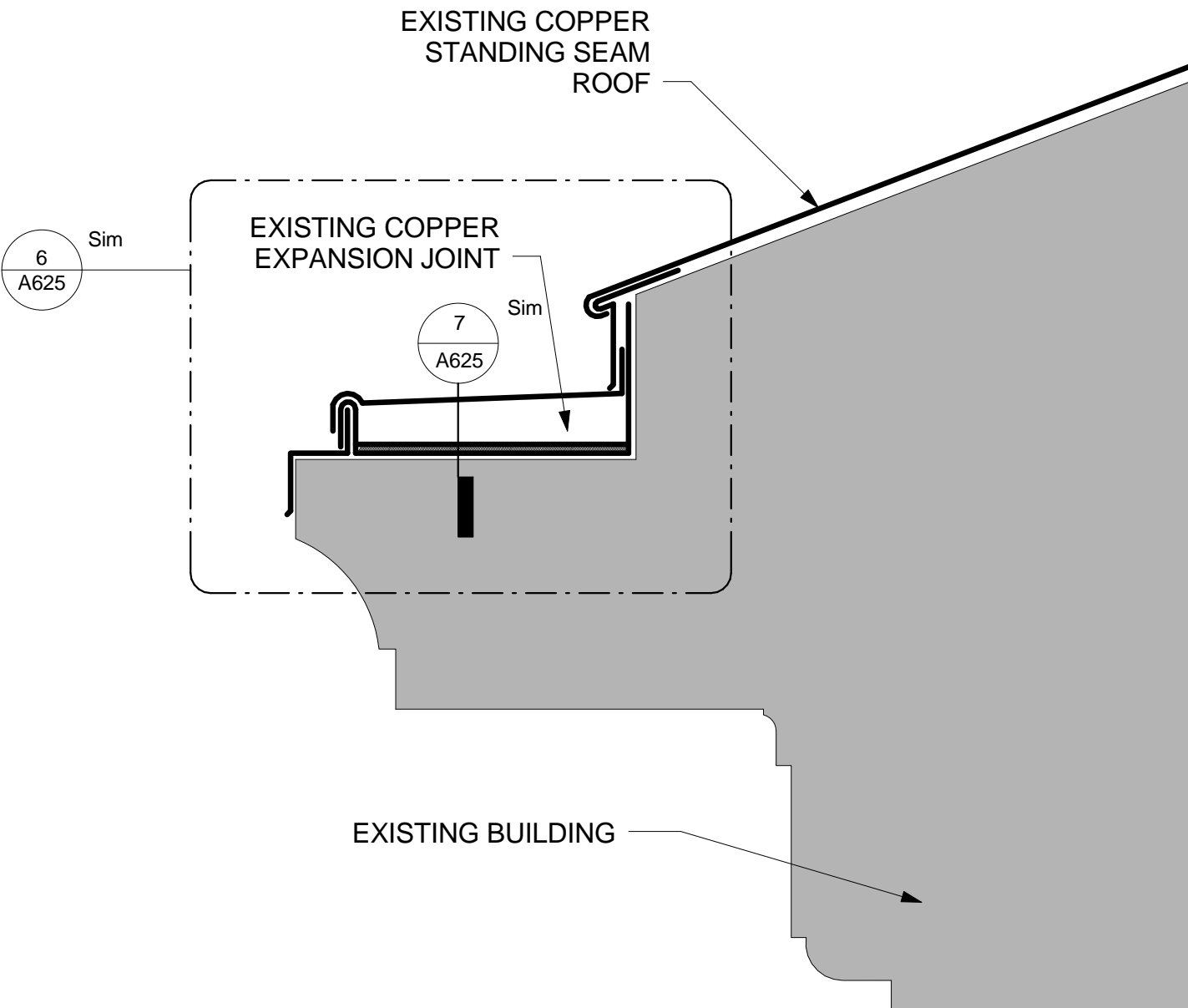
3 EXISTING CONDITIONS- DETAIL OF GUTTER EXPANSION JOINT
N.T.S.

EXISTING COPPER STANDING SEAM ROOF
EXISTING COPPER EDGE STRIP
APPLY FLUID APPLIED MEMBRANE TO EXPANSION JOINT, EXTEND ONTO BUILT-IN-GUTTER MIN. OF 12" ON EITHER SIDE
EXISTING COPPER BUILT-IN-GUTTER
SOLDER ALL HOLES IN EXISTING BUILT-IN-GUTTER & ADJACENT FLASHING
APPLY FLUID APPLIED MEMBRANE A MIN. OF 12" ON EITHER SIDE OF FLASHING SEAM, TYP.

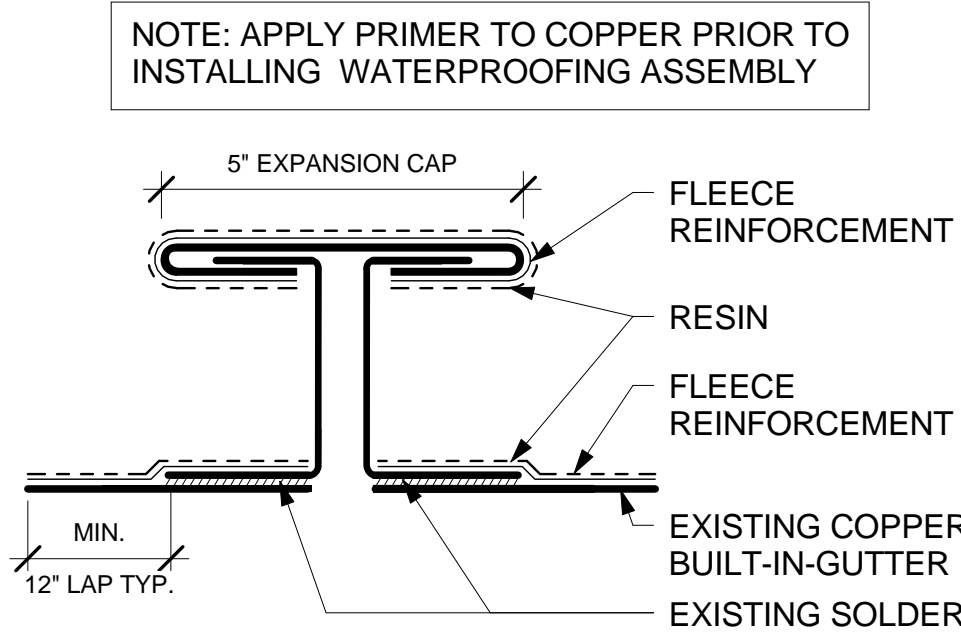


4 PLAN DETAIL-FLUID APPLIED MEMBRANE @ BUILT-IN-GUTTER EXPANSION JOINT
1 1/2" = 1'-0"

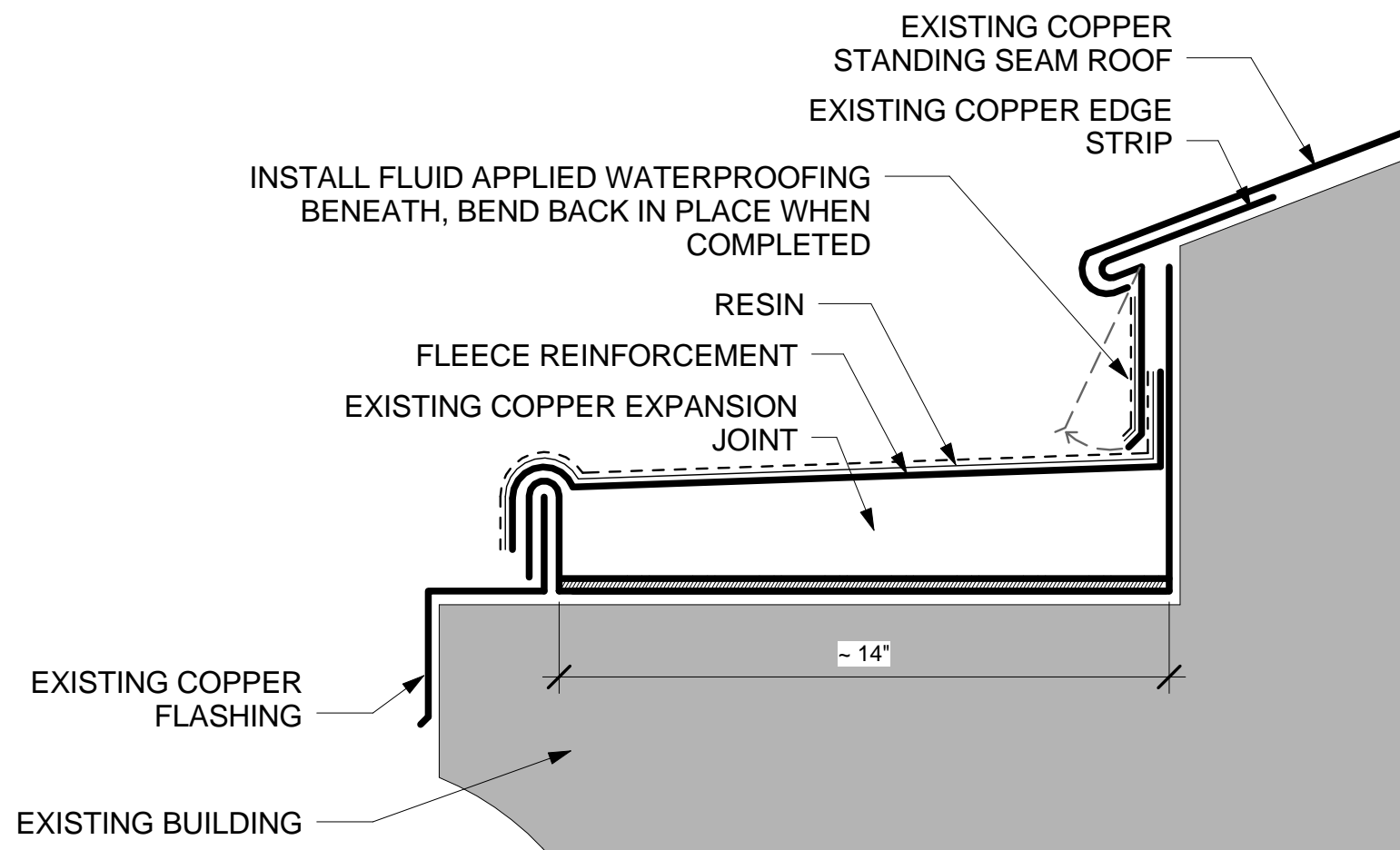
NOTE: LOCATION OF EXPANSION JOINTS MAY VARY, INTENT OF PLAN IS TO SHOW TYPICAL CONDITIONS. THERE IS ONE EXPANSION JOINT LOCATED ON THE EAST & WEST GUTTER.



5 SECTION- EXISTING BUILT-IN-GUTTER @ EXPANSION JOINT
1 1/2" = 1'-0"



7 SECTION DETAIL- BUILT-IN-GUTTER EXPANSION JOINT
6" = 1'-0"



6 SECTION DETAIL- FLUID APPLIED WATERPROOFING @ BUILT-IN-GUTTER EXPANSION JOINT
3" = 1'-0"

NOTE: CLEAN SUBSTRATE & APPLY PRIMER TO COPPER PRIOR TO INSTALLING WATERPROOFING ASSEMBLY

GENERAL FLASHING NOTES

- ANY DISCREPANCIES IN THE EXISTING CONSTRUCTION ASSEMBLY SHALL BE BROUGHT THE ARCHITECT'S ATTENTION IMMEDIATELY.
- SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS.
- PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
- SOLDER ALL HOLES IN BUILT-IN-GUTTERS AND ADJACENT FLASHING

BID DOCUMENTS- APRIL 22, 2015

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MEADORS CONSERVATION



CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA

PROJECT NAME
USC LONGSTREET THEATER
EXTERIOR REPAIRS

LOCATION
1300 GREENE STREET, COLUMBIA, SC 29201

REVISIONS

NO.	DATE	DESCRIPTION
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USC PROJECT NUMBER H27-6100-G

PROJECT NUMBER 14090

SHEET NUMBER

A625

SHEET NAME
GUTTER FLASHING
DETAILS

DATE 04/22/2015

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